

2023 VTrans Bicycle and Pedestrian Grant Application - Request for Additional Funds

1. Project Title: RUTLAND CREEK PATH - SEGMENT 3
2. Existing Project Name/Number BP14(24) &TA17(12) & TA21(3)
3. Applicant Name(s): City of Rutland
4. Project Contact Info:
 - a. Name: Susan Schreibman
 - b. Mailing Address: P.O. Box 969
 - c. Town: Rutland
 - d. Zip Code: 05702
 - e. Email Address: sschreibmangross@gmail.com
 - f. Phone Number: (802) 353-0005

5. Fiscal Information:

- a. Accounting System Automated Manual Combination
- b. Unique Entity Identifier # LK6TH1XS98C9
- c. Fiscal Year End Month June

6. RPC(s) Rutland RPC

7. Project Description:

Please give a brief description of the project (100 words or less.) Detailed information should be submitted as part of addressing the selection criteria. Be sure to include identifying streets or landmarks that the proposed project accesses.

This project is for the funding shortfall to construct Segment 3 of Rutland Creek Path, the missing link connecting Segments 1,2 and 4, all of which have been completed. The gap between Segments 2 and 4 requires travel on West Street and Meadow Street, high volume roadways. Segment 3 begins as a 10' wide paved path through a new City Park, south on an easement through Green Mountain Power's parcel and over a new 12'-wide pedestrian bridge to Meadow Street Park, providing a comprehensive, safe and complete multi-modal transportation corridor and recreational facility for the community.

8. TOTAL ADDITIONAL FUNDING AMOUNT APPLIED FOR: \$ 303,249
(taken from the attached "Additional Funding Worksheet", including 20% local share)

2023 VTrans Bicycle and Pedestrian Grant Application - Request for Additional Funds

1. Project Title: RUTLAND CREEK PATH - SEGMENT 3
2. Existing Project Name/Number BP14(24) & TA17(12) & TA21(3)
3. Applicant Name(s): City of Rutland
4. Project Contact Info:
 - a. Name: Susan Schreibman
 - b. Mailing Address: P.O. Box 969
 - c. Town: Rutland
 - d. Zip Code: 05702
 - e. Email Address: sschreibmangross@gmail.com
 - f. Phone Number: (802) 353-0005
5. Fiscal Information:
 - a. Accounting System Automated Manual Combination
 - b. Unique Entity Identifier # LK6TH1XS98C9
 - c. Fiscal Year End Month June
6. RPC(s) Rutland RPC
7. Project Description:

Please give a brief description of the project (100 words or less.) Detailed information should be submitted as part of addressing the selection criteria. Be sure to include identifying streets or landmarks that the proposed project accesses.

This project is for the funding shortfall to construct Segment 3 of Rutland Creek Path, the missing link connecting Segments 1,2 and 4, all of which have been completed. The gap between Segments 2 and 4 requires travel on West Street and Meadow Street, high volume roadways. Segment 3 begins as a 10' wide paved path through a new City Park, south on an easement through Green Mountain Power's parcel and over a new 12'-wide pedestrian bridge to Meadow Street Park, providing a comprehensive, safe and complete multi-modal transportation corridor and recreational facility for the community.
8. TOTAL ADDITIONAL FUNDING AMOUNT APPLIED FOR: \$ 303,249
(taken from the attached "Additional Funding Worksheet", including 20% local share)

2023 VTrans Bicycle/Pedestrian Program – Additional Funding Criteria Template

Applicant Name: Rutland Creek Path - Segment 3

Existing Project Name and Number: BP14(24) & TA 17(13) & TA21(3)

Brief Project Description: This project is for the funding shortfall to construct Segment 3 of the Rutland Creek Path, the missing link connecting Segments 1,2 and 4, all of which have been completed. In its entirety, Rutland Creek Path is a 10-ft. wide, paved multi-use path intended for both commuting and recreational purposes. Segment 3 is 1,026 ft. long, extending from West Street through Green Mountain Power's parcel, across East Creek with a new pedestrian bridge, to Meadow Street park.

Application Checklist

Make sure everything is included and pages numbered.

- (1) Project Application Form (separate PDF file)

All other materials noted below to be provided in the same order as below.

- (2) Project Evaluation Criteria Documentation for the project (Pages 1-2)
- (3) Copy of Right of Way clearance from VTrans and estimated schedule to complete contract plans and bid documents with estimated bid advertising date (Pages 3-4)
- (4) Project Maps (Pages 5-6)
- (5) Budget support info (Engineers Estimate Pages 7-8, Belden Bid Pages 9-17)
- (6) Additional Funds Calculator output (Page 18)
- (7) RPC review confirmation letter (Page 19)
- (8) Current letter of support from the municipal governing body (Page 20)
- (9) Supporting Documentation (separate PDF file)
 - Utility Relocation Agreement
 - Joint Use Agreement
 - Final Construction Plans
 - In-kind Contribution Approval Letter
 - CEDRR Letter of Support

Project Funding Need – 20 Points: Describe the situation that led to the need to apply for additional funds.

Segment 3's funding history is unique. Initially the project's grants, STP BP 14(24) and TA17(12) were awarded for Segment 5, which extends from River Street and Dorr Drive bridge to the Ripley Road bridge, connecting to the former College of St. Joseph (CSJ). CSJ lost accreditation and closed, and Segment 5's environmental issues led to a very costly solution involving a 250-foot-long boardwalk at its eastern end and a retaining wall along Dorr Drive. Given the uncertainty of the College's future, the prohibition by VTrans of splitting Segment 5 into 2 parts for construction and the private fundraising strategy, the path "posse" decided that it would be prudent to pursue Segment 3 before Segment 5. VTrans graciously agreed, shifting the grants to Segment 3. A pause was placed on engineering Segment 5.

The engineering firm proceeded to design Segment 3. After the preliminary design was complete in 2020, it was noted that there was an expected shortfall of \$617,406. A 2021 Transportation Alternatives grant application was successful in obtaining an additional \$300,000, requiring a \$75,000 match.

Costs have significantly increased since these grants were initially awarded. Inflation has further escalated the costs. Despite the minimal right-of-way costs for this segment, construction costs are high. A pre-engineered pedestrian bridge is costly and the engineers requested and received a design exception to reduce the foundation height, resulting in beneficial impacts to the overall project cost. Two bids (\$2,047,930 and \$1,629,778) were received in November 2022, and both were rejected. The engineers then reduced the clear width of the bridge from 14' to 12' and changed the railing on the bridge. The revisions were estimated to reduce the construction costs by approximately \$200,000. When re-advertised in April 2023, two bids were received- \$1,842,920 and \$1,393,960. This does not include the utility work required to replace utility poles with an estimated cost by Green Mountain Power (GMP) of \$43,585, for which the City has a separate contract with GMP.

This community project is truly unique in the phenomenal community-wide commitment that this project has enjoyed since its inception. In-kind materials and labor have been inherent in each segment and for this Segment 3, VTrans has approved a total of \$129,405, and the Path project will get 80% of that (\$103,524) as in-kind match. The matching cash funds for the existing grants, \$108,198 has been donated by community businesses and individuals.

Adjusting the construction costs for inflation and including contingency to reflect a more accurate estimated construction cost is:

\$1,533,356 Belden's bid + 10% contingency

\$ 153,335 Construction inspection services (10% of construction cost)

\$ 45,764 GMP utility work inflated 5%

\$1,732,455 TOTAL

It is understood that an additional \$60,650 in matching funds is required for this grant application request of \$303,249.

Funding Documentation – 10 Points: Provide any explanatory text regarding documentation of the project budget shortfall. Please attach the additional funding calculator (provided as Appendix G of the guide) and any other documentation to support project costs being presented.

While the grants and matching cash and in-kind funding have moved the project forward through the development phases of engineering and right-of-way, time has lapsed and the construction costs have increased significantly. The engineers used a 2 and 5 year averaged price list (2018-2020 and 2015-2020) to develop the construction estimate.

As the project developed and a shortfall was noted, it was addressed by applying for additional funds (TA 21(3)). However, until a cost proposal was actually received for the construction inspection services in February 2023 and bids were received for construction in April 2023, definitive costs were unknown. In addition, the bids and Construction Inspection Services contract did not include contingencies. Therefore, it is prudent to add 10% contingencies to these amounts.

The March 2022 Utility Relocation Agreement between GMP and the City of Rutland for utility relocation and pole replacement work includes a cost of \$44,698, which was GMP's estimate for the work. There is a clause in the Agreement that the City will be required to pay the actual cost once the work is completed and costs are trued up. This cost was inflated 5% to \$46,933 to more accurately represent the actual cost.

Attachment G:
2023 Additional Funding Worksheet

Applicant Name: City of Rutland
Project Title: Rutland Creek Path- Segment 3
BP14(24) & TA17(13) & TA 21(3)

Determining Make Up Funding for an Existing Project

Original Award (including Local share)	\$1,628,285
Engineering Expenses to Date	\$182,830
Project Management Expenses to Date	\$10,040
ROW expenses to Date	\$5,500

Amount Remaining from original award	\$1,429,915
--------------------------------------	-------------

Utility Relocation	\$46,933	GMP contract + 5% inflation
Balance of Engineering contract to be billed	\$13,620	
Balance of Project Management to end of project	\$5,000	
Balance of ROW expenses anticipated	\$0	
Estimated Construction Cost	1,533,356	Belden's bid + 10% contingency
Estimated Construction Inspection Cost	\$134,255	GPI's contract + 10% contingency

Total Cost to Complete Project \$1,733,164

Amount Remaining in Grant Award (or deficit)	(\$303,249)
--	-------------

CITY OF RUTLAND & GMP AGREEMENT
STP BP 14(24) & TA 17(13) & TA 21(3)
Utility Relocation Agreement
Page 1

AGREEMENT A
(reimbursable relocation work)

CITY OF RUTLAND
UTILITY RELOCATION AGREEMENT

CITY OF RUTLAND
PROJECT NUMBER: STP BP 14(24) & TA 17(13) & TA 21(3)

THIS AGREEMENT, made and concluded by and between the CITY of RUTLAND, hereinafter referred to as the MUNICIPALITY and GREEN MOUNTAIN POWER CORPORATION, (GMP), a Vermont corporation duly organized and existing in the State of Vermont with its principal place of business at Colchester, VT hereinafter referred to as the OWNER;

WITNESSETH:

WHEREAS, the MUNICIPALITY has developed a transportation project identified as Rutland Creek Path – Segment 3, a multi-use path in the city of Rutland; and

WHEREAS, it is evident that adjustment to, and/or replacement of, the OWNER's facilities, hereinafter referred to as RELOCATION WORK, are required by proposed construction of said improvements and does not include work solely benefiting the OWNER, its contractor, or the construction contractor; and

WHEREAS, Federal funds will participate in the cost of the services described in this agreement, pursuant to the provisions of Title 23, United States Code; and Title 23, Code of Federal Regulations ("CFR") Part 645, which are incorporated herein by reference in the same proportion as Federal funds expended on the above captioned project and as follows.

THE MUNICIPALITY AND THE OWNER MUTUALLY AGREE:

Scope of the Work

That the RELOCATION WORK, detailed plans and estimates of which consists of:

MEADOW STREET PARK

CITY OF RUTLAND & GMP AGREEMENT
STP BP 14(24) & TA 17(13) & TA 21(3)
Utility Relocation Agreement
Page 2

Land is owned by the City of Rutland, with Green Mountain Power holding a non-terminable easement on the parcel. Utility modifications include installing a new, taller pole to allow for a 20' clearance between existing overhead wires and the top chord of the proposed pedestrian bridge over East Creek.

298 WEST STREET PARCEL

Land is owned by Green Mountain Power, with an easement being granted to the City of Rutland to allow construction and operation of Segment 3 of the Rutland Creek Path. Utility modifications include installing a new, taller pole to allow for a 20' clearance between existing overhead wires and the top chord of the proposed pedestrian bridge over East Creek. Additionally, the existing anchoring on the poles near East Creek need to be modified due to the location of the Path.

295 WEST STREET PARCEL

Land is owned by City of Rutland. Utility modifications include utilizing a truck along West Street (operated by Green Mountain Power at no charge) to hold two (2) existing utility poles in place during excavation and backfill of trail subbase in the areas of existing guy wires. Traffic control costs are to be paid for by the project. A total of four (4) protective bollards will be installed adjacent to the guy wires as part of the project to protect Green Mountain Power owned infrastructure.

Payment

- a. The **MUNICIPALITY** agrees to pay the **OWNER** \$44,698 for the work based on the estimate within thirty (30) days of receipt of invoice.

Contractor Expense	\$ 960
Internal Labor	\$ 8,915
Materials	\$9,752
Overheads	\$25,071
TOTAL	\$44,698

- b. Upon completion of the Scope of the Work, OWNER will "true up" the utility incurred costs and an invoice reflecting the actual cost post construction will be provided to the **MUNICIPALITY** and the **MUNICIPALITY** will be responsible for any additional costs or GMP will reimburse the project, should the actual cost be less than the estimate.

Termination

That upon completion of the RELOCATION WORK and final payment of any money due under the terms of this agreement, this agreement shall terminate. Upon termination of the agreement, the relationship between the MUNICIPALITY and the OWNER with respect to the OWNER's facilities shall be in accordance with applicable Local, State and Federal laws and regulations governing the operation of utility facilities within public highways.

THE MUNICIPALITY AGREES:

To provide traffic control on West Street while the OWNER performs the work in accordance with the Scope of Work.

THE OWNER AGREES:

That the plans for the RELOCATION WORK are based on standards which conform to or exceed the minimum requirements of all applicable National, State and Local codes and regulations

To accomplish all RELOCATION WORK described in the Scope of Work section furnishing all labor, materials and equipment necessary to complete the work.

To provide quality control and on-the-job inspection of materials and construction methods used in the RELOCATION WORK described in the Scope of Work, at no cost to the MUNICIPALITY.

To notify the MUNICIPALITY and Local Project Manager of any substantial changes in the scope or character of the RELOCATION WORK when those costs associated with the change increase the total project cost by more than ten (10) percent of the original estimate. This notification should be made as soon as the need for such change becomes apparent.

To notify the MUNICIPALITY at least twenty-four (24) hours in advance of beginning or resuming RELOCATION WORK for which reimbursement will be claimed.

To submit to the MUNICIPALITY, upon request, weekly progress reports of labor, materials and equipment used in the RELOCATION WORK.

To maintain in good and safe condition its facilities located within the project limits

CITY OF RUTLAND & GMP AGREEMENT
STP BP 14(24) & TA 17(13) & TA 21(3)
Utility Relocation Agreement
Page 4

and to repair any property damage resulting from such maintenance to the satisfaction of the MUNICIPALITY.

To accumulate all actual direct and related indirect costs by means of special work orders or job orders in accordance with the accounting procedures used in its regular work.

To include in any progress or final billing to the MUNICIPALITY received bills from third parties where applicable and a detailed statement of labor, materials, equipment and incidental expenses incurred in the RELOCATION WORK during the billing period. The MUNICIPALITY will send reimbursements directly to OWNER at:

Green Mountain Power, Attn: Paula Valente, 2152 Post Road, Rutland, VT 05701

To submit final billing for reimbursement to the MUNICIPALITY within 120 days after completion of the work, such billing to contain the information required by 23 C.F.R. 645.117(i).

To allow authorized representatives of the MUNICIPALITY, the State of Vermont and the Federal Highway Administration (FHWA) to audit its utility cost records as may be required in determining reimbursement, including investigation of all records and any stipulation made by the OWNER as to the derivation of betterment and expired service life, if any, and to retain such records for a minimum of three (3) years after final payment has been received.

This agreement shall be binding upon the successors and assigns of the respective parties hereto:

CITY OF RUTLAND & GMP AGREEMENT
STP BP 14(24) & TA 17(13) & TA 21(3)
Utility Relocation Agreement
Page 5

IN WITNESS WHEREOF, the parties to this agreement have executed the same
this 22nd day of March, 2022 the MUNICIPALITY, by its Duly Authorized Agent,
and the OWNER by its authorized agent.

IN WITNESS WHEREOF:

MUNICIPALITY:

BY:

(AUTHORIZED AGENT)

(TITLE)

IN WITNESS WHEREOF:

OWNER:

Joshua Pouley
J.P.

John R. Friske
John R. Friske
BY: John R. Friske
(AUTHORIZED AGENT)

Director of Engineering
(TITLE)

Attachment #1

CONSTRUCTION CONDITIONS

1. All communications between the OWNER, contractors, and any other parties having an interest in the construction contract shall be via the MUNICIPALITY's representative on the project.

2. BUY AMERICA PROVISIONS

Buy America provisions, in accordance with Title 23, United States Code, Section 313 and Title 23, Code of Federal Regulations, Section 635.410 apply to the RELOCATION WORK covered by this Utility Relocation Agreement. All steel and iron products permanently incorporated into Federal-Aid projects shall be products that have been entirely manufactured within the United States. All manufacturing processes of the steel or iron material in a product (i.e., smelting and any subsequent process which alters the steel material's physical form or shape or changes its chemical composition) must occur within the United States to be considered of domestic origin. This includes processes such as rolling, extending, machining, bending, grinding, drilling and coating. Buy America requirements of Titles 23, Code of Federal Regulations, Section 635.410 are applicable to all Federal-Aid construction projects. The OWNER shall provide the UTILITIES & PERMITS UNIT with a written certification prior to performing any RELOCATION WORK pursuant to this Utility Relocation Agreement, confirming that only domestic steel and/or iron products will be used by OWNER for this project. Documentation Records proving this certification must be maintained by the OWNER for three (3) years after final payment under this agreement is made. This Buy America Certification may be subject to audit and may be used in any proceeding under the False Claims Act, Title 18, United States Code, Section 1020 and Title 23 Code of Federal Regulations, Section 635.119. Further, failure to comply with any Buy America requirements may jeopardize reimbursement of the RELOCATION WORK.

3. All logs, trees, underbrush, slash, etc. resulting from clearing operations associated with relocation work shall be burned or otherwise disposed of by the OWNER or its agents, as directed by the Engineer.

4. Any burning associated with construction activities or maintenance operations performed under this agreement shall not use tires or similar manufactured products as ignition material. The OWNER is responsible for procuring all permits or rights necessary for such disposal.

CITY OF RUTLAND & GMP AGREEMENT
STP BP 14(24) & TA 17(13) & TA 21(3)
Utility Relocation Agreement
Page 7

5. Abandoned, unused or junk materials associated with the Relocation Work shall be disposed of by the OWNER in a manner approved by the MUNICIPALITY, except that abandoned underground facilities shall become the property of the contractor, and may not be acquired by the OWNER or the MUNICIPALITY.

6. Material disturbed by the placement of underground facilities which will ultimately be located beneath the sub-grade shall be compacted as required by the construction contract and in a manner approved by the MUNICIPALITY.

7. Maintenance of utility plants located within operational limited - access highway facilities must be conducted from outside the limited - access facility where it is reasonably possible to do so.

8. Project signing and traffic control shall be in conformance with the MUTCD, Agency of Transportation Standard E-119 and any additional signing or traffic control deemed necessary by the MUNICIPALITY. (MUTCD available from the Superintendent of Documents, U.S. Government Printing Office, Washington, D.C. 20402.)

DA 10-10-11 11 AM
672 109-201
Phyllis D. Lusk
Attorney

JOINT USE AGREEMENT

This Agreement was made this 13th day of February, 2018, by and between GREEN MOUNTAIN POWER CORPORATION, a corporation existing according to law with its principal place of business in the Town of Colchester, County of Chittenden and State of Vermont, hereinafter referred to as GMP and CITY OF RUTLAND, an incorporated municipality in the County of Rutland and State of Vermont, hereinafter referred to as RUTLAND.

WHEREAS, GMP presently operates and maintains electric transmission lines within easement corridors 135 feet wide and 100 feet wide, which corridors were acquired through an easement deed granted by Sisters of St. Joseph Society to Central Vermont Public Service Corporation, dated November 27, 1950 and recorded in Book 87 at Page 427 of the City of Rutland Land Records (hereinafter referred to as the "Easement Corridors"). Green Mountain Power Corporation was the surviving corporation after its merger with Central Vermont Public Service Corporation on October 1, 2012.

WHEREAS, RUTLAND wishes to locate, construct, use and maintain a shared use recreational path and associated improvements within and across the limits of portions of the Easement Corridors for the purpose of non-motorized use by the general public (hereinafter referred to as "Path"); and

WHEREAS, GMP desires to cooperate with RUTLAND in the location, construction, use and maintenance of said Path and is willing to grant permission for such Path within the limits of the Easement Corridors in accordance with the terms and conditions of this Agreement.

NOW, THEREFORE, for the sum of One Dollar and other good and valuable consideration, receipt of which is hereby acknowledged, GMP and RUTLAND agree as follows:

1. GMP, insofar as it may legally do so, gives RUTLAND the right and permission to enter upon the aforementioned Easement Corridors for the purpose of locating, constructing, using and maintaining said Path, provided that such permission is granted and conditioned upon RUTLAND'S compliance with the terms and conditions described herein. IT IS FURTHER UNDERSTOOD that the location of the Path is on property which is not owned by GMP and in no way shall this Agreement be construed as a representation or consent by GMP on behalf of any underlying property owner(s). GMP is hereby providing its conditional permission solely as it pertains to the rights granted to it in the aforementioned easement deed. It shall be the sole responsibility of RUTLAND to secure any other necessary permissions and property rights for its Path from any such underlying property owner(s).

2. RUTLAND represents and warrants that the Path shall be located and constructed only as shown on Sheets 3 and 4 of the Draft Right of Way Plans, June 17 as provided to GMP by RUTLAND and entitled "RUTLAND CREEK PATH, SEGMENT 4, RUTLAND STP BIKE(61)," dated 9-20-16, Proj. No. 13050, as prepared by Lamoreux & Dickinson Consulting Engineers, Inc. and to be filed in the Rutland City Clerk's Office.

3. RUTLAND shall notify GMP in writing of any changes to or deviations in such Path within the Easement Corridors and shall not construct such changes without the consent of GMP, which consent shall not be unreasonably withheld or delayed.

4. In advance of entry onto the Easement Corridors for construction purposes, RUTLAND shall contact GMP to arrange a "pre-construction" site meeting between GMP and the general contractor for the Path project to review GMP requirements and procedures for working in the proximity of the aforementioned electric power lines. Furthermore, except for emergency circumstances requiring immediate attention (in which event RUTLAND shall notify GMP as soon as possible, but no later than 24 hours), RUTLAND shall notify GMP at least 48 hours prior to commencing the work within said Easement Corridors.

5. During construction of the Path, RUTLAND shall place and maintain proper, highly visible signage around the construction site within and along the Easement Corridors which warn equipment operators and workers of the presence of the overhead electrical hazard (power lines).

6. RUTLAND agrees that it will only alter the present grade of the land within said Easement Corridors only as shown on the aforesaid plans referred to in Paragraph 2.

7. RUTLAND agrees that no planting of trees or shrubbery shall occur in the Easement Corridors without prior review and approval of GMP, which approval shall not be unreasonably withheld.

8. No construction materials, debris or supplies or any other matter may be stored or stockpiled within the Easement Corridors. Except as immediately necessary during the construction of the Path, no fill or soil shall be piled within the Easement Corridors.

9. RUTLAND agrees that if, as a result of activities related to the construction, use, maintenance or repair of said Path, any of the GMP power lines need to be raised, are damaged or require repair, replacement or relocation, then any expenses involved in the repair, replacement or relocation of GMP power lines shall be borne solely by RUTLAND. Should, due to RUTLAND'S activities in the Easement Corridors, any of the GMP pole or anchor structures be disturbed, require holding during construction or require replacing, in the sole opinion of GMP, then any expenses involved in the repair, replacement or securing of the GMP structures shall be borne solely by RUTLAND.

10. RUTLAND agrees that no blasting shall occur within the Easement Corridors without prior review and approval from GMP, which approval may have conditions such as the required use of matting.

11. RUTLAND agrees that it shall not place, install or construct, or permit the placement, installation or construction of any fixtures or structures of any kind within the limits of the Easement Corridors.

12. No snow shall be piled directly underneath GMP lines or within fifteen feet (15') of any of the GMP poles or anchor guys. Any snow piled within the Easement Corridors shall not exceed six feet (6') in height and shall not be piled so as to restrict access by GMP to the Easement Corridors or its facilities.

13. In the event said Path is destroyed or damaged, RUTLAND, at its sole cost, agrees that any repair/replacement of the Path within the said Easement Corridors will be done in accordance with the terms of this Agreement and in a safe manner without interference with the GMP power lines or any other lines or equipment now or hereinafter within the said Easement Corridors.

14. Except for emergency circumstances requiring immediate remediation (in which event RUTLAND shall notify GMP as soon as possible, but no later than 24 hours), RUTLAND shall notify GMP at least 48 hours prior to performing any work for the reconstruction or maintenance of its Path within the Easement Corridors if such work requires the use of equipment capable of exceeding fourteen feet (14') in height.

15. RUTLAND agrees that GMP shall have the right to monitor and inspect all construction to be done by RUTLAND, by itself or through its contractors, within the said Easement Corridors, and also the right to stop all construction within the said Easement Corridors which, in the reasonable opinion of GMP, either endangers or would tend to endanger, the safe and continued operation of said electric power lines, construction to resume as soon as any such unsafe conditions or activities are terminated, in the reasonable opinion of GMP.

16. With the exception of the actual Path itself, after the construction, maintenance or repairs of the Path, RUTLAND shall make any and all repairs necessary to restore the soil of said Easement Corridors to its present condition or to an altered condition reasonably acceptable to GMP. If necessary, RUTLAND agrees that it shall take appropriate measures (e.g. seeding, mulching and silt control) to prevent erosion in the Easement Corridors.

17. RUTLAND acknowledges that GMP may need to access its Easement Corridors from time to time and agrees that any paving, top dressing or other improvements to the Path in the Easement Corridors (the "Construction") shall be accomplished so as to allow access by GMP heavy equipment. GMP shall not be liable for any damages to the Path or associated improvements caused by or as a result of the Construction not accommodating for the weight and size of GMP's heavy equipment.

18. RUTLAND agrees that GMP shall have the right and permission, without limitation, to travel over and upon said Path, both inside and outside of the limits of the Easement Corridors, at any time for the purpose of gaining access to and maintaining said Easement Corridors and to inspect, construct, repair, replace or remove GMP facilities within said Easement Corridors. Nothing herein shall be construed to limit GMP access to its Easement Corridors and nothing shall be placed across the Easement Corridors to obstruct/limit GMP access.

19. RUTLAND hereby acknowledges and voluntarily assumes any and all risks associated with the location, construction, maintenance and use of its Path within or adjacent to the GMP Easement Corridors and in proximity to GMP power lines and facilities and, therefore, agrees to indemnify, defend and hold harmless GMP, against any and all liabilities, including, without limitation, environmental damage or other contamination (however defined), reasonable attorney's fees, and any and all other legal or related costs, to GMP, its successors and assigns or to third persons, including, without limitation, agents, employees and invitees of RUTLAND, arising from or in any way attributable to the presence of RUTLAND'S Path or the construction, maintenance or use of the same; furthermore, without limiting the above clause, RUTLAND shall also be liable to GMP, its successors and assigns, for any damage, including, without limitation, environmental damage and or other contamination (however defined), reasonable attorneys' fees and any and all other legal and related costs, to GMP property or facilities caused in any way by the presence of RUTLAND'S Path or the construction, maintenance or use of the same.

20. RUTLAND hereby assumes full liability for any interruption of GMP electric service resulting from the construction, use and maintenance of the aforementioned Path and RUTLAND will reimburse GMP for all claims, costs or expenses resulting from any interruption of service caused by RUTLAND'S construction, use or maintenance of the Path.

Joint Use Agreement
GMP and City of Rutland
Page 3 of 3

21. It is further understood and agreed that nothing in this Agreement is to be construed as a representation or warranty by GMP that all applicable State, Federal or Local regulations have been or will be complied with by RUTLAND in conjunction with the location, construction, maintenance and use of said Path or any other activities conducted by RUTLAND.

22. This Agreement shall act as a supplement to the aforementioned GMP easement deeds and except as otherwise specifically set forth herein, the terms and conditions of said easement deeds shall remain in full force and effect.

23. It is further mutually understood and agreed that this Agreement shall be binding upon the respective successors and assigns of the parties hereto.

24. This Agreement contains the entire agreement of the parties hereto relating to the subject matter herein, and may only be modified by a written amendment signed by the parties. This Agreement shall be construed in accordance with the laws of the State of Vermont. This Agreement shall be recorded in the City of Rutland Land Records.

THIS AGREEMENT was executed as of the day and year first above written.

IN WITNESS WHEREOF, Green Mountain Power Corporation has hereunto caused these presents to be executed in its name and on its behalf by William J. Jakubowski, its Authorized Agent, this 13th day of February, 2018.

Colleen A Kelly
Witness

State of Vermont)
County of Rutland)

GREEN MOUNTAIN POWER CORPORATION

By William J. Jakubowski
William J. Jakubowski,
Authorized Agent

At the Town of Rutland, in said County, this 13th day of February, 2018, personally appeared William J. Jakubowski who executed the foregoing instrument for and on behalf of said Green Mountain Power Corporation and, as its Authorized Agent, acknowledged the same to be his free act and deed and the free act and deed of said Green Mountain Power Corporation.

Before me,

Colleen A Kelly
Notary Public
My Commission Expires: Feb. 10, 2019

IN WITNESS WHEREOF, the City of Rutland has hereunto caused these presents to be executed in its name and on its behalf by David Allaire, its Mayor, this 13th day of February, 2018.

Matthew L
Witness

State of Vermont)
County of Rutland)

CITY OF RUTLAND
By: David W Allaire
David Allaire, Mayor

At the City of Rutland, in said County, this 13th day of February, 2018, personally appeared David Allaire who executed the foregoing instrument for and on behalf of said City of Rutland and, as its Mayor, acknowledged the same to be his free act and deed and the free act and deed of said City of Rutland.

Before me,

Judith Fager
Notary Public
My Commission Expires: Feb. 10, 2019

**CITY OF RUTLAND
COUNTY OF RUTLAND
VERMONT**

**RUTLAND CREEK PATH SEGMENT 3
PROJECT**

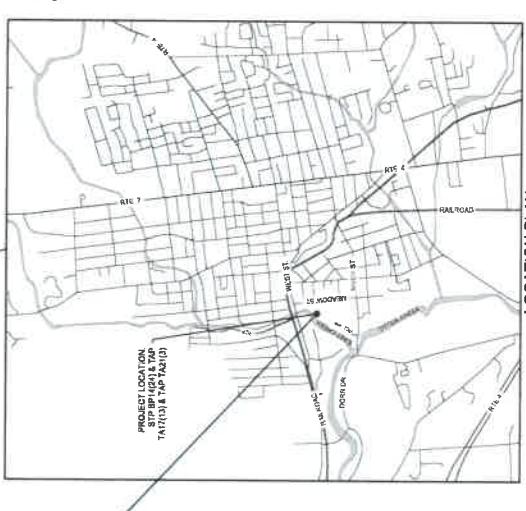
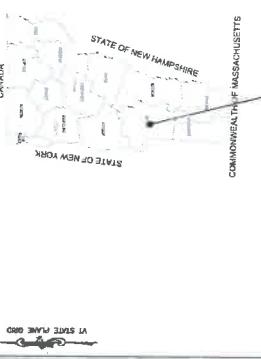
RUTLAND CITY STP BP14(24) & RUTLAND CITY TAP TA17(13) & TAP TA21(3)

WORK TO BE PERFORMED UNDER THIS CONTRACT INCLUDES: PAVING FOR CONSTRUCTION OF A MULTIBEAM PAVEMENT, MARKINGS, DRAINAGE, BRIDGE CONSTRUCTION, RETAINING WALL CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES, AND THE DEMOLITION AND REMOVAL.

PROJECT LOCATION INCLUDES MEADOW STREET PARK (SPAN 540'17"200N), GREEN MOUNTAIN POWERED WALKWAY, MEADOW STREET (SPAN 540'17"200N & 540'17"170E) ON THE NORTHERN SIDE OF WEST STREET (SPAN 540'17"200N & 540'17"170E).



OVERALL PROJECT AREA



**LOCATION PLAN
N.T.S.**

Sheet List Table	
Sheet Number	Sheet Title
G0101	TITLE BLOCK
C100	QUANTITY BRIEF
C101	GENERAL CIVIC NOTES
C102	INDEX PLAN
C103	*TRAFFIC CONTROL PLAN
C104	EROSION AND SEDIMENT CONTROL PLAN
C105	EXISTING CONDITIONS AND REMOVAL PLAN
C106	EXISTING CONDITIONS AND REMOVAL PLAN
C107	TRAIL PLANS AND PROFILE
C108	TRAIL GRADING AND DRAINAGE
C109	TRAIL SECTIONS
C110	ENLARGEMENT PLANS
C111	TYPICAL DETAILS
C112	TYPICAL DETAILS
S101	GENERAL NOTES
S200	PLAN AND ELEVATION
S201	BEG ABUTMENT PLAN, ELEVATION AND SECTION
S202	END ABUTMENT PLAN, ELEVATION AND SECTION
S203	SECTIONS

MARCH 6, 2023



CONTRACT DOCUMENTS
QUALITY ASSURANCE PROGRAM LEVEL 3

ACCEPTED	CITY OF RUTLAND	DATE	DATUM	VERTICAL	NAV'DB	HORIZONTAL	NADB3

Copyright 2023 by Western Engineers, Inc.
All rights reserved. No part of this document may be reproduced without written permission from the author or publisher.

Copyright 2023 by Western Engineers, Inc.

CITY OF RUTLAND
VERMONT
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STP BPH-14(24)
RUTLAND TAP
TAT-173 • TAP 12415

Weston & Sappington

Walter E. Sappington & Sons, Inc.
1 Willow Circle
Albion, NY 14411
518.842.4000
www.westonsappington.com

Contract #000



CDIA

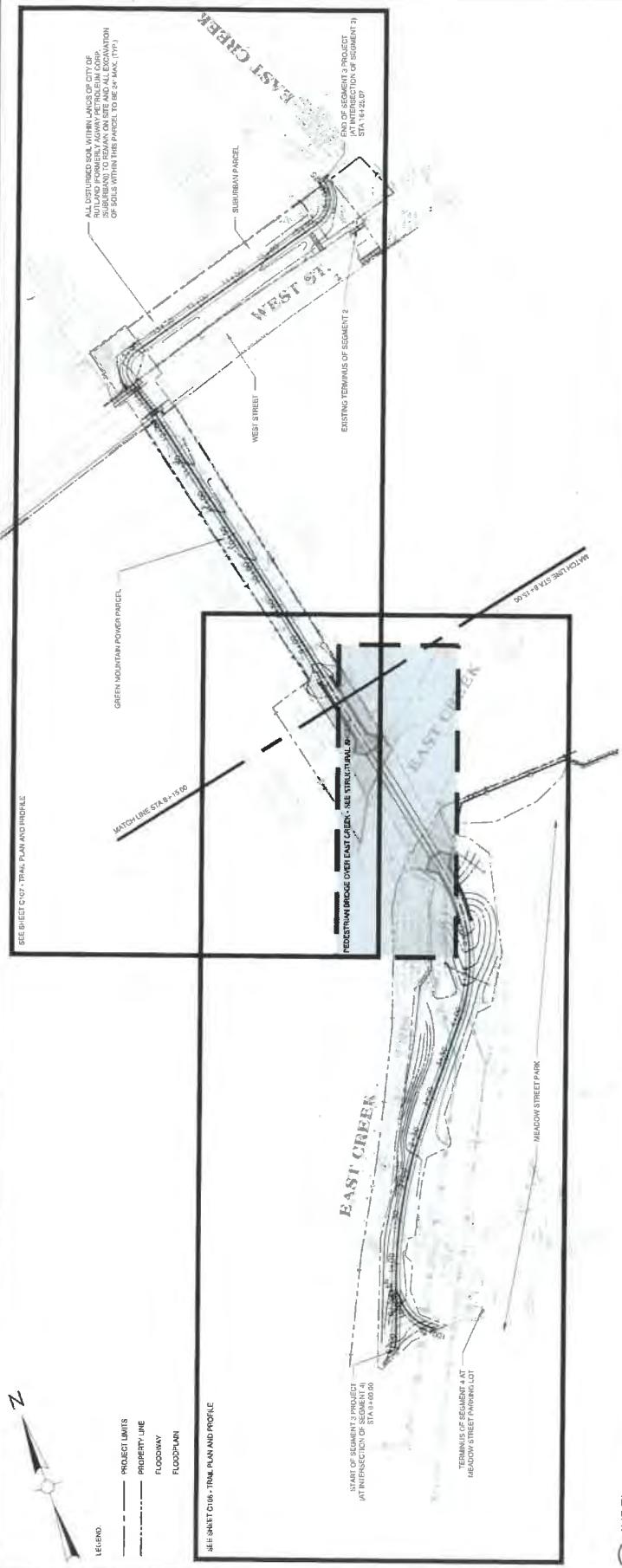
**CONTRACT
DOCUMENTS**

Scale	1" = 60'
Date	MARCH 6, 2023
Drawn By	JWS
Reviewed By	JB
Approved By	DPS

ASCE Project No.: 7391/V6
DRAFT File No.:

INDEX PLAN

Sheet number:
C101



Project:
CITY OF RUTLAND
VERMONT
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STP BPR(414)
RUTLAND CITY STP
TAA(15) & TAA(21)



Hollis & Sons Co., Inc.
11 Water Dr., Suite 100
Albion, NY 14411
518.222.4200 800.339.2525
www.westmanandsons.com

Contractors:

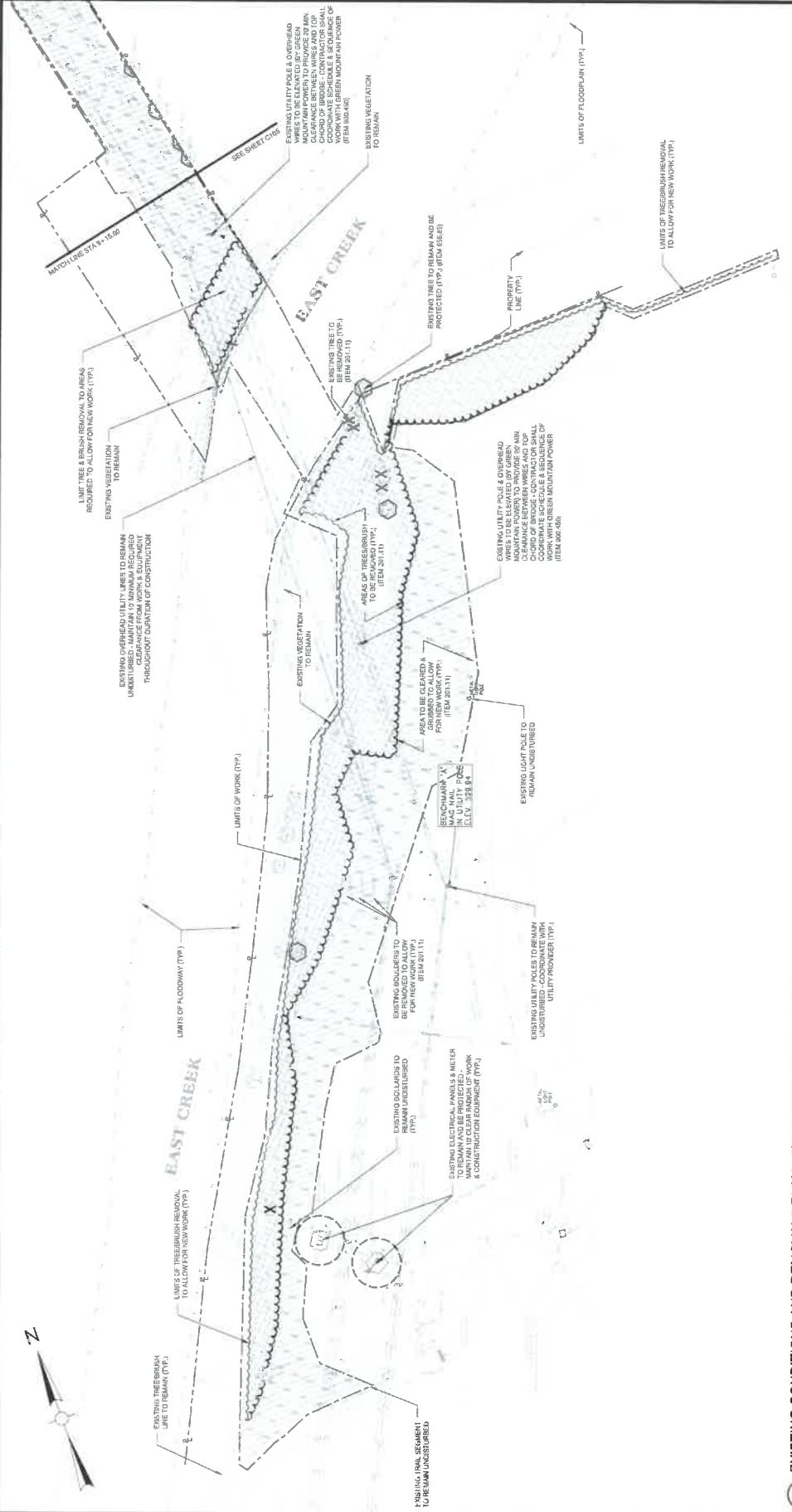
Match Line STA 9+15.00
SEE SHEET CLOS
EXISTING UTILITY POLE & OVERHEAD
WIRING TO BE REMOVED TO ALLOW FOR NEW
WORK. CONTRACTOR SHALL MAINTAIN
CLEARANCE TO EXISTING UTILITY POLE & OVERHEAD
WIRING. CONTRACTOR SHALL MAINTAIN
CLEARANCE BETWEEN WIRES AND TOP
CHORD OF BRIDGE. CONTRACTOR SHALL
WORK WITH BRENN MOUNTAIN POWER
(ITEM #00450).

COA

Date:

Signature:

COA



1 EXISTING CONDITIONS AND REMOVALS PLAN - STA 0+00.00 TO STA 8+15.00

CONTRACT DOCUMENTS

COA

EXISTING CONDITIONS AND REMOVALS PLAN

Sheet number:

Drawing:

C104

CITY OF RUTLAND
VERMONT
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STP BP#144
& RUTLAND CITY TAP
(AT#113) & TAP TA#150



Western Stampede
Engineering Services, Inc.
1187 Lark Street, Albany, NY 12205
(518) 463-4400
www.westernstampede.com
Carrie Lamm



CONTRACT
DOCUMENTS

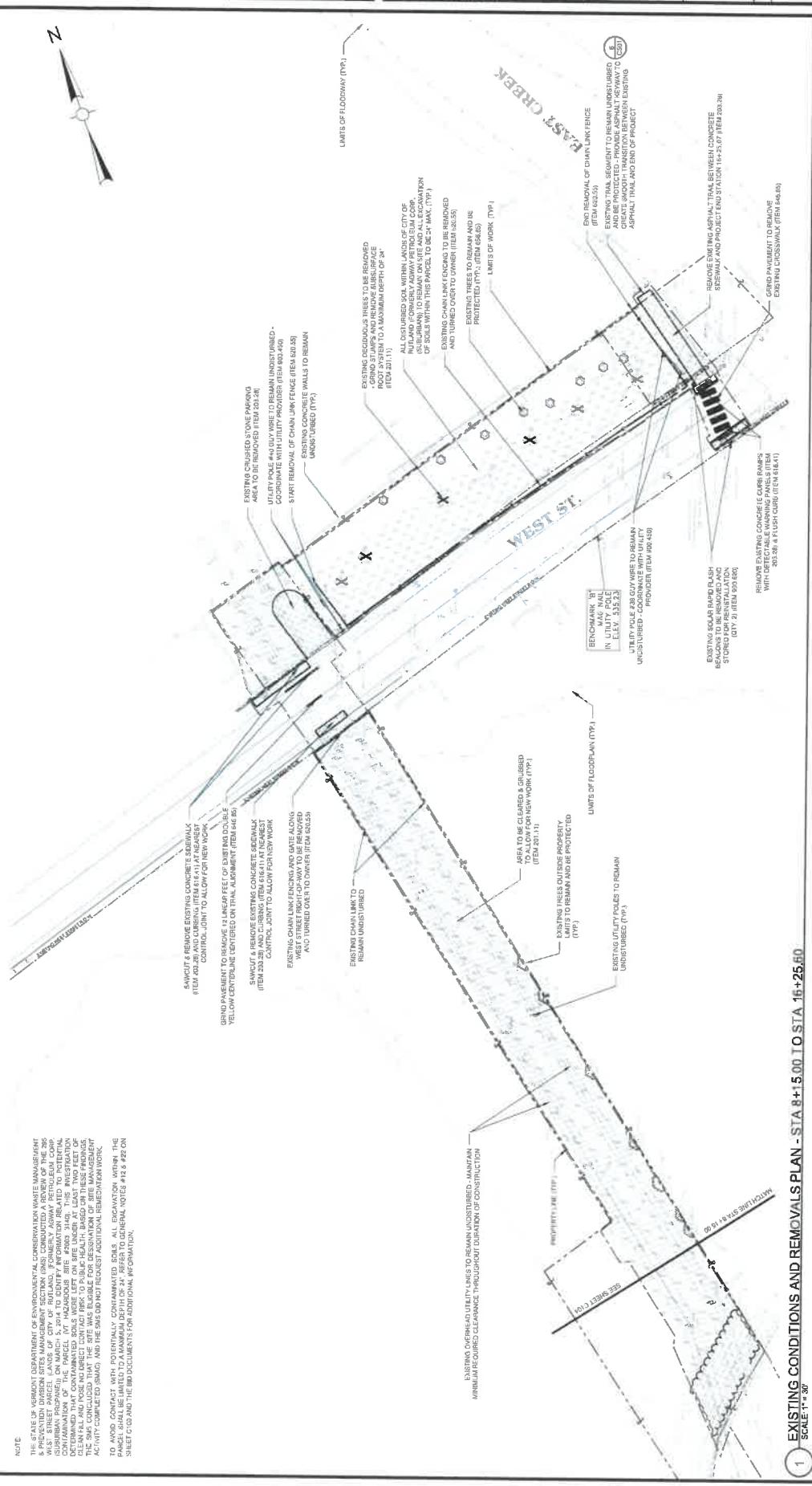
Revised
Rev Date
No Date
Drawn
Approved
Sealed

Printed
MARCH 6, 2023
Drew By
JRW
Approved By
LPH

MNS Project No:
2191105
MNS File No:
1

EXISTING
CONDITIONS AND
REMOVALS PLAN

C105



1
SCALE 1"=30'

CITY OF RUTLAND
Vermont
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STP SP#1464
TATUM & TAP TA#15



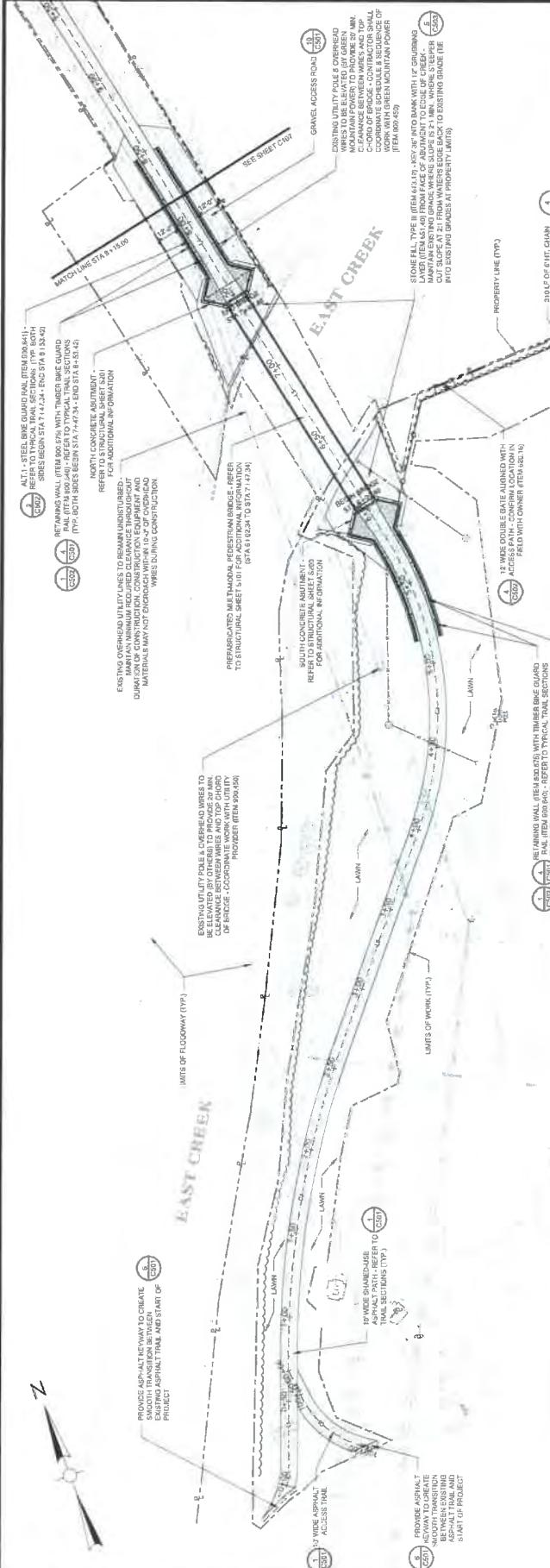
Weston & Sampson, Inc.
Western Green, Suite 150
Albany, NY 12206
518.653.4240
www.westonsampson.com

Contract No.	Ref ID	Project Name
CONTRACT NUMBER	CONTRACT NO.	RUTLAND CREEK PATH SEGMENT 3
CONTRACT DATE	CONTRACT NO. DATE	03/29/2019
CONTRACT AMOUNT	CONTRACT AMOUNT	\$1,050,000
CONTRACT TERM	CONTRACT TERM	03/29/2019 - 05/29/2019
CONTRACTOR	CONTRACTOR	WESTON & SAMPSON INC.
PERIODIC PAYMENT SCHEDULE	PERIODIC PAYMENT SCHEDULE	
GENERAL CONDITIONS	GENERAL CONDITIONS	



No Date Description

RECORDED BY
WESTON & SAMPSON, INC.
ALBANY, NY 03/29/2019
AT THE REQUEST OF:
THE CITY OF RUTLAND, VERMONT
AND
THE VERNON WATERSHED COMMISSION
AND
THE GREEN MOUNTAIN POWER CORPORATION



NOTES

- ALL DISTURBED AREAS WITHIN UNITS OF WORK ARE SUBJECT TO CUR CONSTRUCTION SOIL DEPTH AND QUALITY STANDARDS.
- LAWN AREA DISTURBED BY GRADING SHALL BE RESTORED AS SOON AS POSSIBLE AND MAINTAINED ON A REGULAR BASIS.
- ALL AREAS DISTURBED BY WORK ARE TO BE PROTECTED FROM DISTURBANCE AND COMPACTED.
- CONTRACTOR SHALL REPORT UNUSUAL CONDITIONS AND COORDINATION OF WORK IN THE AREA OF DISTURBED WIRE WORK WITH THE APPROPRIATE UTILITY PROVIDERS.

1 SITE PLAN - STA 0+00.00 TO STA 8+15.00

SCALE: HORIZONTAL = 1:30 | VERTICAL = 1:30

ID	STA/STANT	END STA	BEARING	RADIALS	PANORMA	LENGTH	CENTRELINE DATA, ACCESS TRAIL
C1	P.C. 4+00.00	P.T. 4+11.26	N 18° 30' 34"E	55.00'	5.65'	11.94'	
L1	0+11.26	0+78.62	N 18° 39' 53"E	55.00'	5.65'	11.94'	
C2	P.C. 7+07.62	P.T. 7+23.35	N 18° 38' 45"E	54.60'	9.44'	18.63'	
L2	2+53.52	3+89.74	N 18° 38' 56"E	51.70'	20.00'	66.54'	
C3	P.C. 3+59.94	P.T. 5+78.63	N 18° 39' 24"E	51.70'	20.00'	66.54'	
L3	5+78.63	7+76.20	N 18° 39' 24"E	51.70'	20.00'	66.54'	
L4	7+76.20	9+92.16	N 18° 38' 45"E	51.70'	20.00'	66.54'	

ID	BIT. STANT	BIT. END	BLK-A/RNG	►	RADIS	TANGENT	LENGTH
L1	100+00.00	100+11.26	N 65° 30' 34"W		56.00'	24.82'	41.78'
C8	P.C. 100+11.26	P.T. 100+46.08	N 65° 27' 17"W		49.44'24.21"	56.00"	
L1	100+48.69	100+45.73	N 65° 27' 17"W				

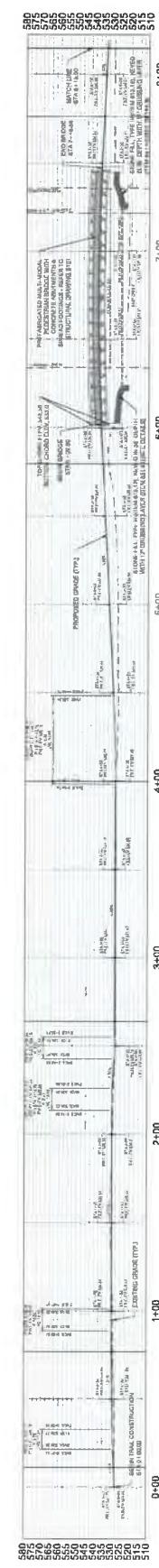
CONTRACT DOCUMENTS

Date: 3/30/2019

Date: MARCH 6, 2019
Drew By: JWG
Reviewed By: DFB
Approved By: DFB

Scale: 1" = 30'

Drawing No.: 20190306
Title: TRAIL PROFILE
Date: 3/29/2019



2 SITE PROFILE - STA 0+00.00 TO STA 8+15.00

SCALE: HORIZONTAL = 1:30 | VERTICAL = 1:30

C106

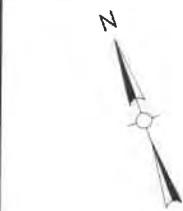
Proud
CITY OF RUTLAND
VERMONT
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STP BP#424
TAT#131 & TAP#A131



Weston & Sampson, Inc.
110 Main Street, Suite 100
Albany, NY 12207
518.463.1400
www.westonsampson.com

Date: Nov.

Seal	Stamp
RECEIVED RUTLAND CITY STP BP#424 TAT#131 TAP#A131 NOV 12 2013 WESTON & SAMPSON INC.	WES
Resources	None
No.	One
Comments	



PEDESTRIAN CROSSING
ALREADY SIGN ASSEMBLY

ID	STA. START	STA. END	BEARING	RADIUS	TANGENT	LENGTH
L4	7+62.30	9+62.18	N42° 20' 07" W			
L5	9+62.18	11+28.72	N17° 54' 26" W			
L6	11+88.72	12+17.76	N17° 51' 45" W			
L7	12+17.76	12+22.46	N17° 51' 56" W			
C4	IPC 12-56.88	IPC 12-56.88	N17° 36' 49" W	B1+40.03'	25' 00"	40.04'
L8	13+05.32	15+66.62	N76° 16' 36" E			
C1	PC 19-59.52	PT 16+22.80	N44° 38' 20" W			
L10	16+22.80	16+25.07	N44° 38' 20" W			

PAVEMENT MARKINGS

STA.	OFFSET	TEXT	MOUNTING	NOTES
14+6.78	L 260.00	(FED. XING SYMB.)	W11-2	POST, 6"OF
12+4.76	L 150.20	AHEAD	W16-SP	POST, 4"OF
12+26.40	R 260.00	(FED. XING SYMB.)	W11-2	POST, 6"OF
12+46.40	R 250.00	AHEAD	W16-SP	POST, 4"OF

SIGN SCHEDULE

STA.	OFFSET	TEXT	MOUNTING	NOTES
14+6.78	L 260.00	(FED. XING SYMB.)	W11-2	CONFIRM VTRANS & MULCO STANDARDS
12+4.76	L 150.20	AHEAD	W16-SP	CONFIRM VTRANS & MULCO STANDARDS
12+26.40	R 260.00	(FED. XING SYMB.)	W11-2	CONFIRM VTRANS & MULCO STANDARDS
12+46.40	R 250.00	AHEAD	W16-SP	CONFIRM VTRANS & MULCO STANDARDS

EASTING ONE-HALF UTILITY LINES TO REMAIN UNDISTURBED - MANTAIN
MANUFACTURED CLEARANCE THROUGHOUT DURATION OF CONSTRUCTION



GENERAL ACCESS ROAD



RELAVING WALL



STEELING GUARD RAIL



SITE PLAN - STA 8+15.00 TO STA 16+25.60

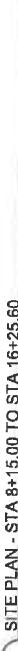
1

SCALE: 1" = 30'

VERT: 1" = 30'

15:00

TRAIL PROFILE

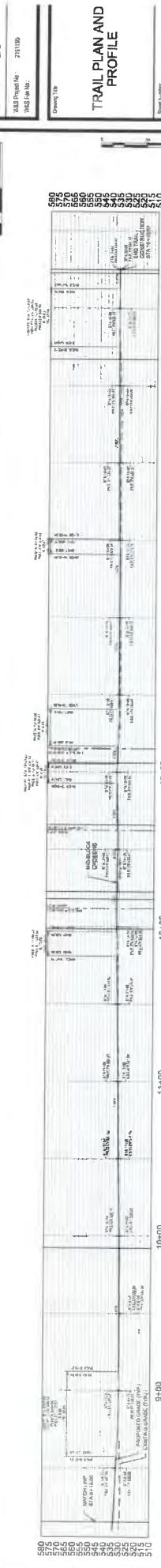


2

SCALE: HORIZ: 1" = 30'

VERT: 1" = 30'

16:00



C107

PAGE
CITY OF RUTLAND
VERMONT
RUTLAND CREEK
PATH SEGMENT 3
RUTLAND CITY STS. 8+00 TO
A RUTLAND CITY JAP
TAX lot # 10

Weston & Sampson

Wilson G. Sampson, Inc.
11 Warren Drive, Suite 130
Weston, Vermont 05151
(802) 865-1920
www.westonsampson.com

Col. 100



Date:

No.:

Description:

CONTRACT
DOCUMENTS

Date:

Name:

Approved By:

DPS

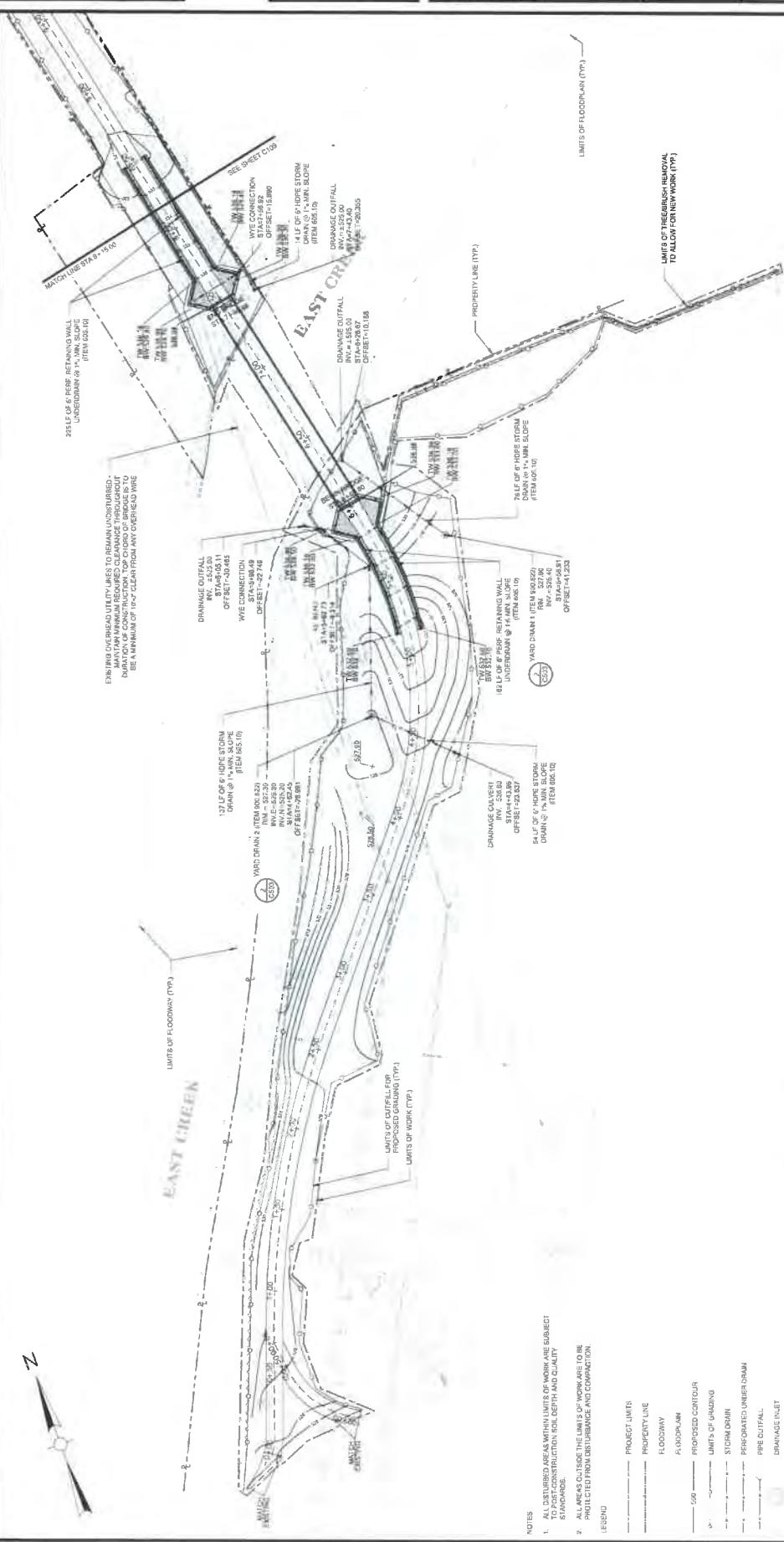
WBS Task No.:

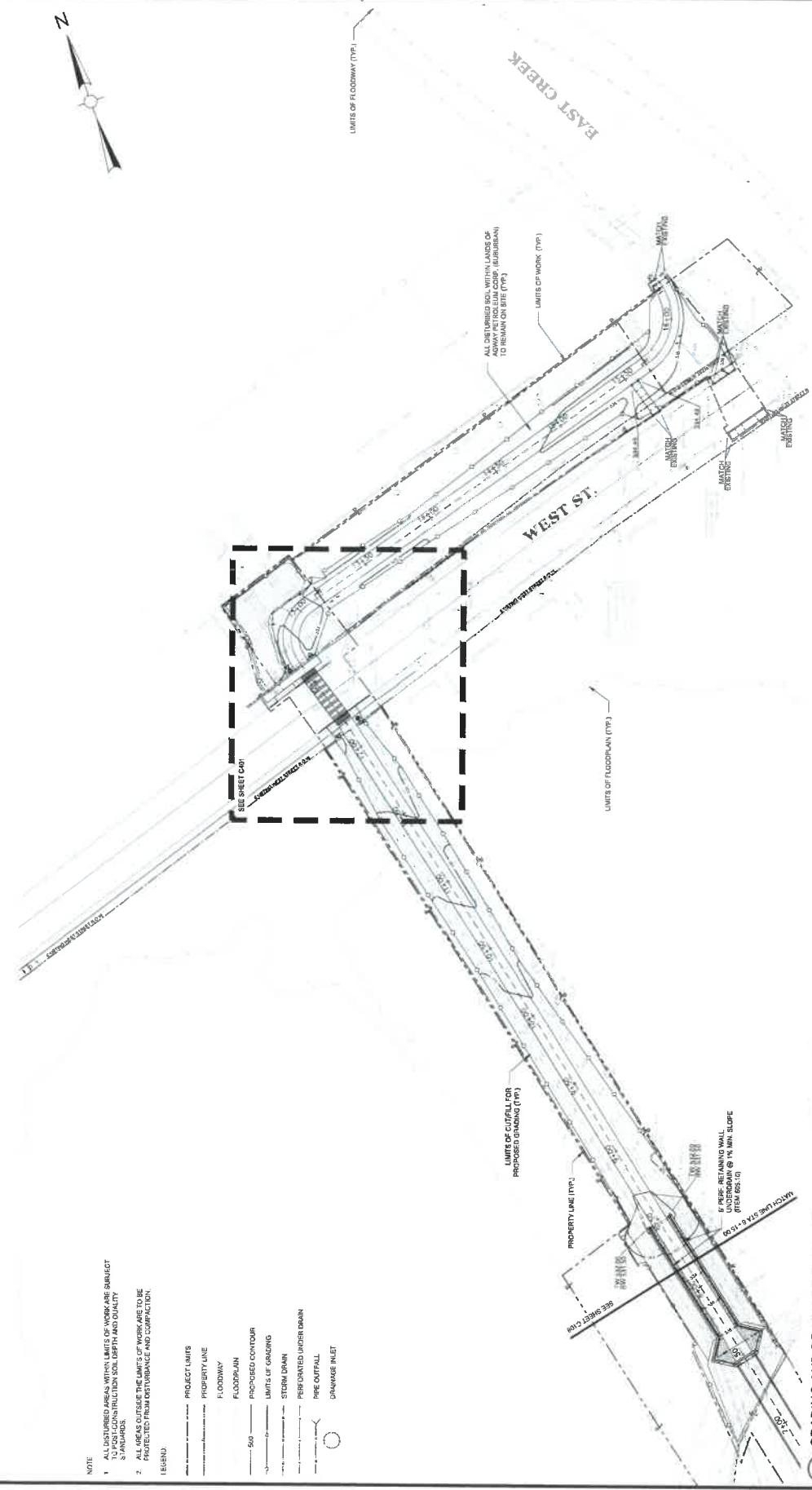
WBS Task No.:

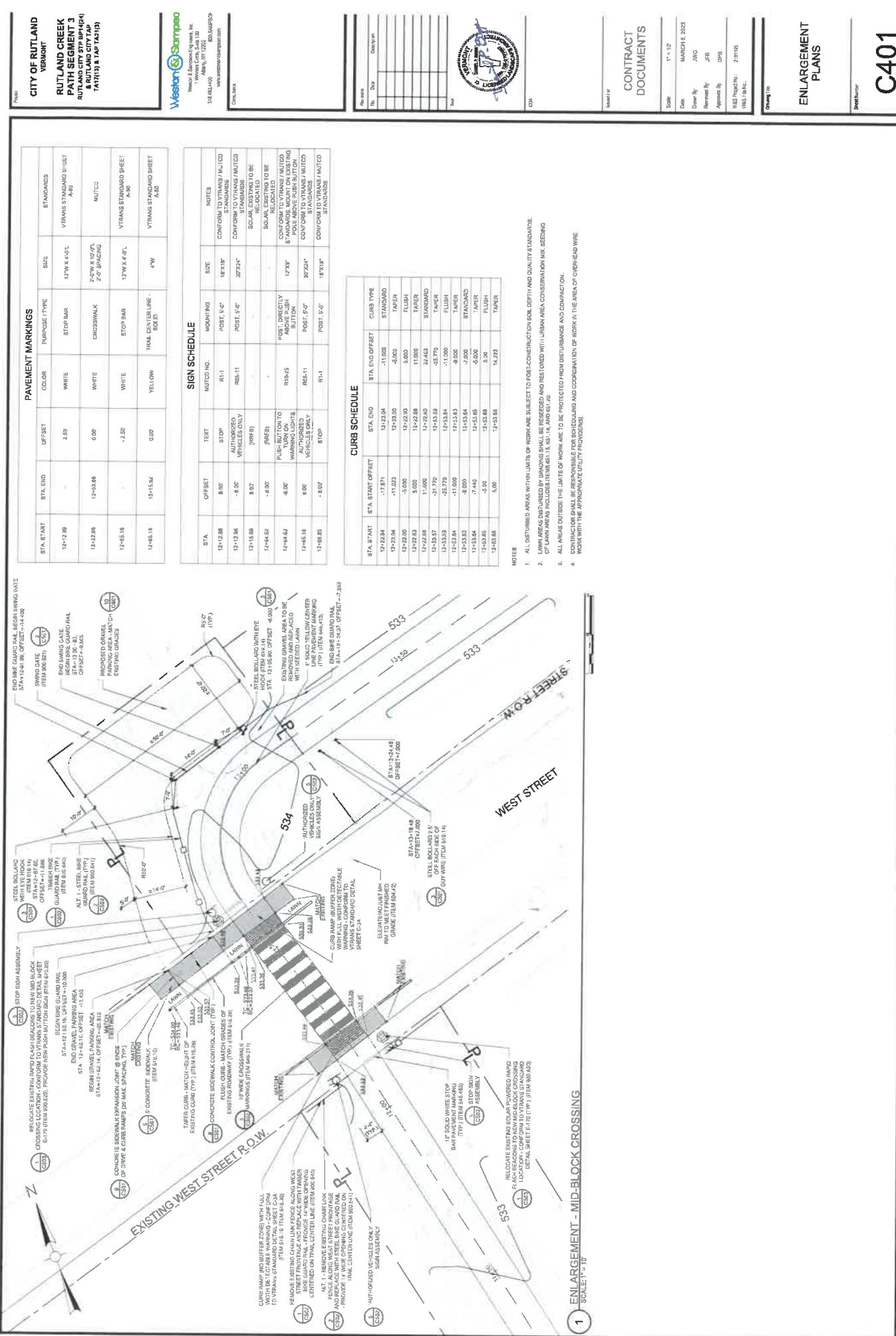
Drawing No.:

Sheet Number:

C108









Scott Robertson, P.E.
Project Manager
Vermont Agency of Transportation
Municipal Assistance Section
219 North Main Street – 4th floor
Barre, VT. 05641

May 17, 2022

Susan Schreibman, MPM
City of Rutland
PO Box 969
Rutland, VT 05701

RE: Proposal for In-kind contributions on the Rutland Creek Path Segment 3 project -
Rutland City STP BP14(24) & TAP TA17(13) & TAP TA21(3)

Dear Susan,

I have reviewed the City's proposal for in-kind work submitted on 3-10-2022. This letter serves as approval of this proposal with the following conditions:

Clearing and Grubbing, Including Individual Trees and Stumps (1.86 Acres) – Item 201.11

I approve of the donation of the clearing and grubbing (Pay Item #201.11) per the project contract documents with a value of \$25,574. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. This work shall be completed in accordance with section 201 of VTrans 2018 Standard Specifications for Construction.

Project Demarcation Fence (3.154 LF) – Item 653.55

I approve of the donation of 3,154 LF of Project Demarcation Fence (PDF) (Pay Item #653.55) per the project contract documents with a value of \$14,698. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that Project Demarcation Fence must meet the requirements outlined in subsection 653.06(b), as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Superpave Bituminous Concrete Pavement (290 TON) – Item 406.35

I approve of the donation of 290 TONS of Superpave Bituminous Concrete Pavement (Pay Item #406.35) per the project contract documents with a value of \$28,465. This value is only for the material and does not include labor and any equipment needed to complete the work. Note that the pavement requires a mix design to be approved and materials testing as outlined in section 406 of VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Seed (53 LB) – Item 651.15

I approve of the donation of 53 LB of Seed (Pay Item #651.15) per the project contract documents with a value of \$540.39. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the Seed must meet the requirements outlined in subsection 755.04, as shown in VTrans 2018 Standard

Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Fertilizer (53 LB) – Item 651.18

I approve of the donation of 53 LB of fertilizer (Pay Item #651.18) per the project contract documents with a value of \$242.33. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the Fertilizer must meet the requirements outlined in subsection 755.06, as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Agricultural Limestone (1.31 TON) – Item 651.20

I approve of the donation of 1.31 TON of Agricultural Limestone (Pay Item #651.20) per the project contract documents with a value of \$1,020.44. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the Agricultural Limestone must meet the requirements outlined in subsection 755.08, as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Hay Mulch (10.51 TON) – Item 653.10

I approve of the donation of 10.51 TON of Hay Mulch (Pay Item #653.10) per the project contract documents with a value of \$9,013.66. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the Hay Mulch must meet the requirements outlined in subsection 755.10(a), as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Bollards (6 EA) – Item 619.14

I approve of the donation of 6 Bollards (Pay Item #619.14) per the project contract documents with a value of \$6,891. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the Bollards must meet the requirements outlined in section 619, as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Removal of Existing Fence (388 LF) – Item 620.55

I approve of the donation of the removal of 388 LF of existing fence (Pay Item #620.55) per the project contract documents with a value of \$3,500. This value is for the full provision of this project item – materials, labor and any equipment needed to complete the work. Note that the removal of fence must be performed in accordance with section 620.09, as shown in VTrans 2018 Standard Specifications for Construction. The City's Construction Inspector will need to verify compliance with these requirements.

Each donation listed above will be clearly described in the instructions to bidders within the bid documents.

As previously reviewed by VTrans Right of Way section, the value of the donated easements has been assessed at \$14,460.

The total value of all in-kind donations available for this project is therefore **\$129,405**. 80% of the total amount shall be applied towards the towns local match (**\$103,524**). In no case will your project be allowed to credit greater than 100% of the local share with the value of in-kind

donations. The final share will be determined by the final total cost of the project at the end of construction.

You are required to provide written confirmation (by either letter or email) that you have received this approval and that you agree to all of the conditions as stated. Without this confirmation from the City and agreement to the conditions, none of the proposed in-kind donations will be approved.

Please work with your design engineer to ensure close coordination between these in-kind donations and the contract plans and documents for the rest of the project. Please provide a copy of this letter to your construction inspector so that they are aware of these requirements.

Please don't hesitate to contact me by phone at 802-793-2395 or by email at scott.robertson@vermont.gov if you have any questions or need additional information. Thank you.

Sincerely,

DocuSigned by:

Scott Robertson

FF47B6347D104EA...

Scott Robertson, P.E.
Project Manager

CC: Project File
Jack Grieshaber <GrieshaberJ@wseinc.com>, Weston & Sampson



May 10, 2023

Pete Pochop
VTrans Bicycle and Pedestrian Project Manager
Vermont Agency of Transportation
Barre City Place | 219 North Main St.
Barre, VT 05641

Dear Mr. Pochop,

This letter indicates the support by the Chamber & Economic Development of the Rutland Region Rutland for the 2023 Federal Aid Bicycle and Pedestrian Program Grant application for Segment 3 of Rutland Creek Path. We understand that the project is for additional funding needed for construction of Segment 3, the missing link between Segments 2 and 4.

This multi-use path along East and Otter Creeks in the City of Rutland is an asset to the Region and this segment will facilitate bicycle and pedestrian travel, providing safe access from West Street to Monsignor Connor/ Meadow St. Park and its recreational facilities, the nearby Loretta Home and Mount St. Joseph Academy. Segment 3 will provide quality linkages in the City.

The 10-foot-wide, paved ADA-accessible multi-use path is intended to be used for both commuting and recreational purposes, ultimately connecting Giorgetti/Pine Hill Park to the City's new Recreation Center. Linking parks and schools, the Path enhances the community. People already enjoy this asset for walking, biking, roller blading, strolling, and other similar uses, and the missing segment will allow for even more. The quality-of-life component is invaluable. The project also ties into efforts to enhance our economy, maintain our youth, conserve energy, promote multi-modal transportation and clean up a neglected area.

We hope that the grant application is successful in supplementing the funds already received and understand that local support will supplement this public funding.

We all look forward to continuing to make Rutland a wonderful place to live, work and play. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Lyle P. Jepson".

Lyle P. Jepson, Executive Director



RIGHT OF WAY CERTIFICATE

DATE: 02/14/2022

PROJECT: Rutland City: STP BP14(24) / TAP TA17(13) / TAP TA21(3)

PPMS #: 19f232 / 19f233 / 21f082

This is to certify that the right of way has been or will be acquired in accordance with Vermont State Statute, the Uniform Relocation Assistance Real Property Acquisition Policies Act of 1970 as amended and Title 23 of the Code of Federal Regulations, Part 635 (when applicable) and the status of the right of way is as follows:

- No acquisitions of land or rights was necessary since all construction will be within the existing controlled right of way. Use of non-controlled right of ways will be allowed through executed agreements or approved permits.
- Pursuant to 23 CFR 635.309(c)(1) and/or (2), all the acquisitions of land and rights have been completed including legal and physical possession and/or the right to occupy and to use all rights of way required for the proper execution of the project has been acquired.
- Pursuant to 23 CFR 635.309(c)(3), all the necessary right of way has not been acquired, however, the acquisitions are being progressed and all legal and physical possession will be completed prior to award of the construction contract.

Comments:

All three are for Segment 3 of the Rutland Creek Path.

APPROVED:

Trey Polk

Digitally signed by Trey Polk
Date: 2022.02.14 11:00:32 -05'00'

Trey Polk, Right of Way Acquisitions and Utilities Manager

Distribution

Robert M. White, Director, Project Delivery Bureau
Jon Lemieux, Project Manager
Marvin D. Kingsbury, Programming Engineer, Planning
Craig Keller, Chief of Permits
Anthony Davis, Finance & Administration
Meredith Asselin, Finance & Administration
Elizabeth Shipley, FHWA
ROW Admin for OnBase

RYAN SMITH & CARBINE, LTD.

ATTORNEYS AT LAW

MEAD BUILDING
98 MERCHANTS ROW
P. O. BOX 310
RUTLAND, VERMONT 05702-0310

TELEPHONE (802) 786-1000
FACSIMILE (802) 786-1100

WRITER'S DIRECT DIAL:
(802) 786-1030
Fax: (802) 786-1130
E-Mail: schc@rsclaw.com

NEW YORK OFFICE:
RYAN SMITH & CARBINE, P.C.
511 GLEN STREET
GLENS FALLS, NEW YORK 12801

TELEPHONE (518) 499-1272
FACSIMILE (518) 499-1273

PLEASE REPLY TO: Vermont New York

R. JOSEPH O'ROURKE
JOHN J. ZAWISTOSKI
GLENN S. MORGAN
JAMES B. ANDERSON ▲
WILLIAM A. O'ROURKE, III
ELIZABETH A. GLYNN
ANDREW H. MAASS
JOHN A. SERAFINO
MARK F. WERLE ▲
ERIN J. GILMORE
TAMMY B. DENTON
FRANCESCA BOVE ▲
STEPHANIE P. ROMEO
ANTONIN I.Z. ROBBASON ▲
STEPHEN C.H. CASSARINO
ELIJAH T. LACHANCE
of Counsel:
ALLAN R. KEYES
EDWARD D. LAIRD, JR. ▲
▲ Also admitted in New York

January 31, 2022

Re: Project Name: Rutland Creek Path Segment 3
Project Number: Rutland City STP BP14(24) & TA17(13)
Right-of-Way Certification

This is to certify that:

- As shown on project plans dated March 24, 2021, and revised January 11, 2022, filed in the City Clerk's office on January 26, 2022, all necessary rights-of-way have been acquired including legal and physical possession, the City of Rutland or its assigns have the right to enter on all lands, and the right-of-way is clear.
- All acquisition was in accordance with current Federal Highway Administration Directives and Title III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended.
- No Acquisition required compliance with the provisions of Title II of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended.

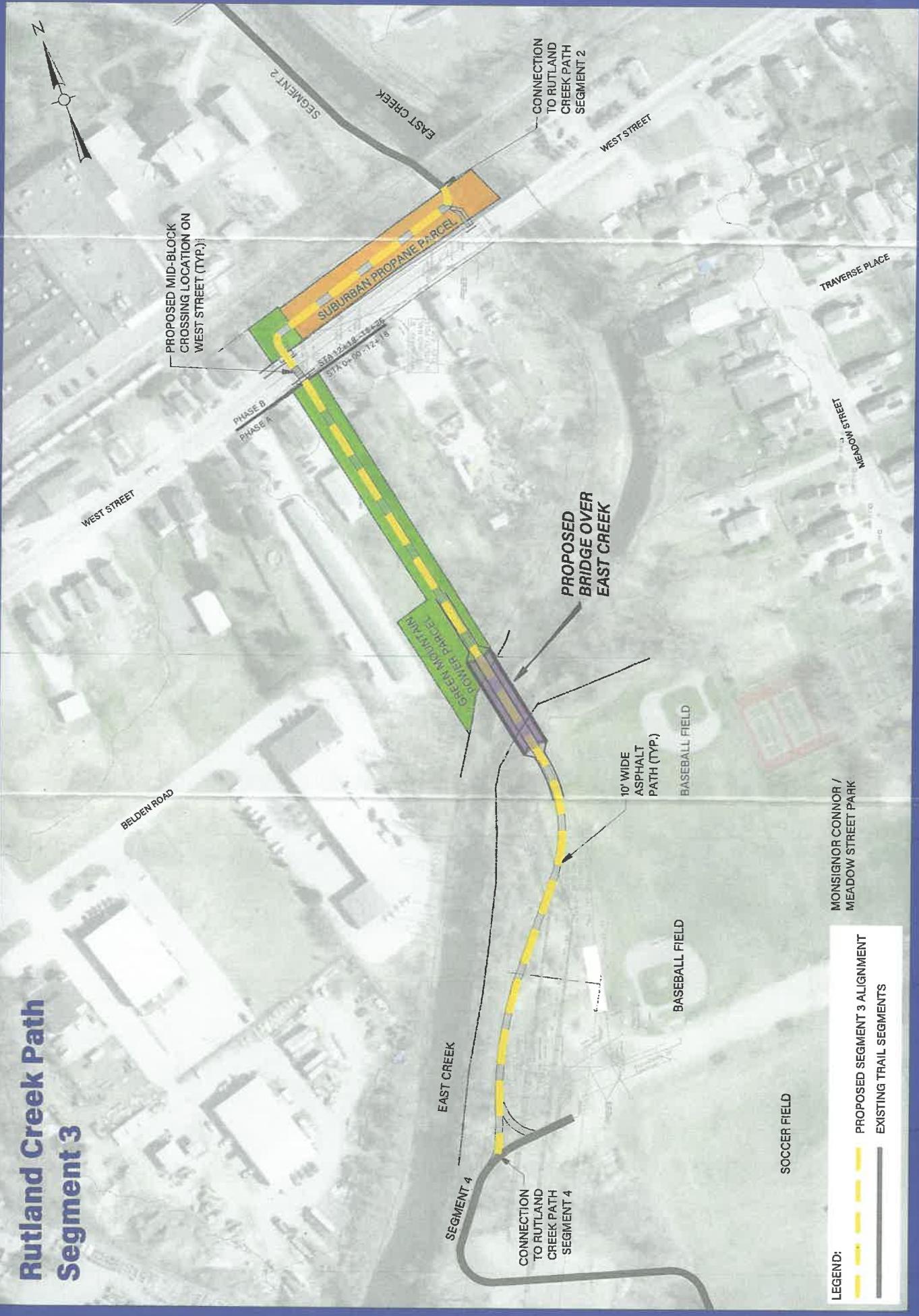
Following is a summary of the Project acquisitions:

<u>Parcel</u>	<u>Owner(s)</u>	<u>Effective Date</u>	<u>Acquisition Type</u>
1	Green Mountain Power Corporation	09/22/2021	Easement
2	Bernardo J. Valente	11/09/2021	Easement
3	Suburban Heating Oil Partners, LLC	01/26/2022	Fee Simple

Sincerely,

Stephen C.H. Cassarino
Ryan Smith & Carbine, Ltd.
Attorneys for the City of Rutland

Rutland Creek Path Segment 3



LEGEND:

PROPOSED SEGMENT 3 ALIGNMENT
EXISTING TRAIL SEGMENTS

Rutland Creek Path



Rutland Creek Path - Segment 3							
Rutland City BP14(24) & Rutland City TAP TA17(13) & TAP TA21(3)				City of Rutland, Vermont			
Item No.	Item Description	Quantity	Units	Unit Price	In-Kind Contr.	Subtotal Cost	Extended Cost
Share Use Path							
20111	Clearing and grubbing, including individual trees and stumps	1.86	Acres	\$ 13,745.45	\$	25,574.00	\$ 25,574.00
20115	Common excavation	643.67	Cubic Yard	\$ 13.08		11,069.00	\$ 11,069.00
20128	Excavation of surfaces and pavements	655.16	Cubic Yard	\$ 26.52		\$	\$
Earth Borrow							
20130	French excavation of earth	710.00	Cubic Yard	\$ 16.38		11,977.53	\$ 11,977.53
20420	Granular backfill for structures	102.00	Cubic Yard	\$ 19.57		1,965.44	\$ 1,965.44
20430	Subbase of crushed gravel, coarse aggregate	225.00	Cubic Yard	\$ 45.99		10,347.75	\$ 10,347.75
30125	Aggregate in dry course	1073.75	Cubic Yard	\$ 26.54		39,344.83	\$ 39,344.83
40310	Aggregate backfill	271.2	Ton	\$ 48.30		3,394.92	\$ 3,394.92
40312	Aggregate backfill	56.00	Hours	\$ 35.16		952.51	\$ 952.51
40465	Bituminous asphalt	1,663.57	Yards	\$ 26.74		\$	\$
50712	Manufacturing steel, level II	168.00	Pounds	\$ 2.68		526.62	\$ 526.62
54125	Concrete block II	168.03	Cubic Yard	\$ 12,625.00		23,466.99	\$ 23,466.99
60510	6 inch underdrain pipe	686.00	Linear Feet	\$ 21.31		14,618.66	\$ 14,618.66
60915	Drainage & control with calcium chloride	12.00	Ton	\$ 588.52		588.52	\$ 588.52
61626	Cast-in-place concrete curb, type B	129.00	Linear Feet	\$ 34.90		4,621.10	\$ 4,621.10
61641	Reinforcement existing curb 5" x 6"	62.00	Linear Feet	\$ 6.90		390.60	\$ 390.60
61810	Portland cement concrete subgrade, 5 inch	22.27	Square Yard	\$ 105.83		7,701.25	\$ 7,701.25
61810	Portland cement concrete surface	60.00	Linear Feet	\$ 38.05		2,818.00	\$ 2,818.00
61914	Soilboards	6.00	Back	\$ 1,482.42	\$	8,891.00	\$ 8,891.00
62012	Chamfered fence, 6 feet	249.00	Linear Feet	\$ 35.48		8,881.00	\$ 8,881.00
62016	Gate for chain link fence, 6 feet	12.00	Linear Feet	\$ 110.60		1,327.56	\$ 1,327.56
62055	Removal of existing fence	388.00	Linear Feet	\$ 9.02	\$	3,500.00	\$ 3,500.00
646311	Crushable cast stone, weatherburn yellow paint	86.00	Linear Feet	\$ 5.50		424.00	\$ 424.00
646431	Drivable 4 inch yellow line, spray paint	150.64	Linear Feet	\$ 0.83		66.76	\$ 66.76
646463	Drivable 12 inch white line, spray paint	8.00	Linear Feet	\$ 3.69		29.52	\$ 29.52
646485	Removal of existing pavement edges	104.50	Square Foot	\$ 3.38		351.50	\$ 351.50
64931	Geotextile for road base separator	1683.46	Square Yard	\$ 1.11		1,856.44	\$ 1,856.44
64941	Geotextile under stone fill	655.33	Square Yard	\$ 3.16		2,074.01	\$ 2,074.01
65115	Seed	88.89	Square Yard	\$ 2.08		185.69	\$ 185.69
65118	Perimeter	52.57	Pounds	\$ 10.39	\$	540.39	\$ 540.39
65120	Aggregate limestone	1.31	Ton	\$ 242.33	\$	242.33	\$ 242.33
65135	Topsoil	644.49	Cubic Yard	\$ 1,020.44		29,056.62	\$ 29,056.62
65140	Graveline Material	304.50	Square Yard	\$ 45.23		\$	\$
65301	EPSC Plan	1.00	Linear Feet	\$ 4.38		1,137.48	\$ 1,137.48
65302	Monitoring EPSC Plan	104.00	Linear Feet	\$ 329.47		3,528.47	\$ 3,528.47
65303	Instrumentation EPSC Plan (N.A.L.H.)	1.00	Hour	\$ 66.79		66.79	\$ 66.79
65310	Hay mulch	10.51	Linear Feet	\$ 3,668.21		3,668.21	\$ 3,668.21
65312	Stabilized construction entrance	5840.98	Square Yard	\$ 1.87	\$	9,013.66	\$ 9,013.66
65313	Elevate wires at bridge	222.20	Cubic Yard	\$ 4,666.00		10,322.25	\$ 10,322.25
65335	Silt fence, type I	2,956.00	Linear Feet	\$ 4.10		11,494.98	\$ 11,494.98
65345	Project damage reparation fence	3,151.00	Linear Feet	\$ 4,666	\$	14,698.00	\$ 14,698.00
65685	Tree protection	1.00	Hour	\$ 4,464.00		4,464.00	\$ 4,464.00
67570	Trunk size, type A	31.75	Square Foot	\$ 21.82		697.79	\$ 697.79
67574	Square with 10" post and anchor	90.00	Linear Feet	\$ 10.42		933.80	\$ 933.80
67575	Special Provision 900.620	160	Lums	\$ 43,665.00		43,665.00	\$ 43,665.00
67576	Special Provision 900.622	200	Bach	\$ 2,000.00		4,000.00	\$ 4,000.00
67577	Special Provision 900.623	100	Bach	\$ 4,200.00		4,200.00	\$ 4,200.00
67578	Special Provision 900.640	200	Bach	\$ 3,000.00		6,000.00	\$ 6,000.00
67579	Special Provision 900.650	502.00	Linear Feet	\$ 138.10		19,242.20	\$ 19,242.20
67580	Special Provision 900.672	1.00	Hour	\$ 1.00		1.00	\$ 1.00
67581	Special Provision 900.680	180.59	Square Foot	\$ 50.67		9,057.59	\$ 9,057.59
67582	Bituminous Concrete Pavement, Small Quantity	290.00	Ton	\$ 1,485.50		436,650.00	\$ 436,650.00
Pedestrian Bridges							
20425	Structure excavation	400.00	Cubic Yard	\$ 25.00		\$	\$
20430	Granular backfill for structures	300.00	Cubic Yard	\$ 50.00		15,000.00	\$ 15,000.00
20840	Coniferous	1.00	Lumber	\$ 40,000.00		40,000.00	\$ 40,000.00
30125	Bridge Decking, inclusive of reinforcement	62.00	Cubic Yard	\$ 56.54		2,653.48	\$ 2,653.48
50137	Reinforcement, concrete, class PCD	34.00	Cubic Yard	\$		\$	\$

501.39	Hg. I, performance concrete, class PCS	Brid. Wtr-Wall, Stem, Pedestals	58.00	Cubic-Yard Pounds	\$ 1,000.00	\$ 69600.00
512.2	Hg. II, H. w. steel, walled II	Alumnum & wood, Reinforcement	194.483.60	Square-Foot Linear Feet	\$ 3.00	\$ 58200.00
514.10	Water curren. stone		2690.00		\$ 5.00	\$ 13450.00
516.10	Bdrlw expansion joint, amphiblic wtr		28.00		\$ 150.00	\$ 4500.00
541.25	Concrete, class B	Brid. Footholds	56.00	Cubic-Yard	\$ 1,462.50	\$ 69790.00
513.12	Stone Bl. type III		304.22	Cubic-Yard	\$ 55.01	\$ 16755.14
649.31	Genocells under stone wll.		304.22	Square-Yard	\$ 3.16	\$ 961.34
	Perforated Multi-Mesh Pedestrian Bridge	12' width, 145' length	1.00	Linen-Sum	\$ 412,500.00	
				Pedestrian Brdg-Santhora	\$ 412,500.00	\$ 756,051.96
General / Fine, Items						
630.10	Uniformed traffic officers		46.00	Hour	\$ 64.86	\$ 2,964.40
630.15	Play areas		40.00	Hour	\$ 37.47	
631.16	Training equipment-concrete		1.00	Linen-Sum	\$ 855.72	
631.17	Terris sculpmens bch Initiative					
	Hhld - 55%					
635.11	Mobilization Demobilization		1.00	Linen-Sum	\$ 699.32	
641.11	Traffic control, all Initiative		1.00	Linen-Sum	\$ 37.812.60	
	Low - 2%	Subtotal			\$ 14,860.46	
				General / Misc. Items Subtotal	\$ 58,291.29	
				Estimated Cost		\$ 1,09,699.77
				Credit/Cash (10%)		
				Total		
				In-Kind Contribution Total ("W-V Trans Fr-Kind")		\$ 13,095.18
				Subtotal Total		\$ 1,440,650.95
				Date Letter Dated 05-17/07/21		\$ 129,455.00

Rutland City STP BP14(24) & Rutland City TAP
TA17(13) & TAP TA21(3)
Bid Form

03/20/2023

BID FORM

Rutland Creek Path Segment 3

Rutland City STP BP14(24) & Rutland City TAP TA17(13) & TAP TA21(3)

Proposal of Belden Construction LLC

(hereinafter called Bidder), organized and existing under the laws of the State of Vermont _____ doing business as

Limited Liability Corporation

(a corporation, a partnership, of an individual)

To the City of Rutland, Vermont (hereinafter called Owner)

The Bidder represents that this bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation. The bidder has not directly or indirectly induced or solicited any other bidder to submit a false bid. Bidder has not solicited or induced any person, firm or corporation to refrain from bidding and the bidder has not sought by collusion to obtain for himself any advantage over any other bidder or Owner.

It is essential that all forms that require signature as part of the final Bid Submission be filled out and signed or the Bid itself will be invalid:

- Contractors EEO Certification Form CA-109 – Appendix A
- Debarment & Non-Collusion Affidavit CA-91 – Appendix B
- Worker Classification Compliance Requirement (Prime Contractor) – Appendix C

The undersigned bidder proposed and agrees, if this bid is accepted, to enter into an agreement with Owner to furnish all materials and to complete all work as specified or indicated in the Contract Documents for the contract price and within the contract time indicated in this bid and in accordance with the Contract Documents.

Bidder hereby agrees to commence Work under this contract on the date of issuance of the Notice to Proceed and that the Final Completion date for this contract is December 31, 2024.

Bidder acknowledges receipt of the following Addenda:

N/A

Rutland City STP BP14(24) & Rutland City TAP

TA17(13) & TAP TA21(3)

Bid Form

03/20/2023

Bidder agrees to perform all the Work described in the Contract Documents for the following schedule of prices. Unqualified bids will not be accepted.

VTrans ITEM #	ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
201.11	Clearing and Grubbing, Including Individual Trees and Stumps (NABI)	AC	1.86	\$ 0.00	\$ 0.00
	Unit Price in Words <u>Zero dollars and Zero cents</u>				
203.15	Common Excavation	CY	841.73	\$ 22.00	\$ 18,518.06
	Unit Price in Words <u>Twenty two dollars and zero cents</u>				
203.28	Excavation of Surfaces and Pavements	CY	65.56	\$ 33.00	\$ 2,163.48
	Unit Price in Words <u>Thirty three dollars and zero cents</u>				
203.30	Earth Borrow	CY	730.00	\$ 28.00	\$ 20,440.00
	Unit Price in Words <u>Twenty eight dollars and zero cents</u>				
204.20	Trench Excavation of Earth	CY	102.00	\$ 15.00	\$ 1,530.00
	Unit Price in Words <u>Fifteen dollars and zero cents</u>				
204.25	Structure Excavation	CY	400.00	\$ 20.00	\$ 8,000.00
	Unit Price in Words <u>Twenty dollars and zero cents</u>				
204.30	Granular Backfill for Structures	CY	525.00	\$ 58.00	\$ 30,450.00
	Unit Price in Words <u>Fifty eight dollars and zero cents</u>				
208.40	Cofferdams	LS	1.00	\$ 12,000.00	\$ 12,000.00
	Unit Price in Words <u>Twelve thousand dollars and zero cents</u>				

Rutland City STP BP14(24) & Rutland City TAP

TA17(13) & TAP TA21(3)

Bid Form

03/20/2023

301.25 Subbase of Crushed Gravel, Coarse Grade

CY 1135.75 \$ 54.00 \$ 61,330.50

Unit Price in Words Fifty four dollars and zero cents

401.10 Aggregate Surface Course

CY 73.28 \$ 98.00 \$ 7,181.44

Unit Price in Words Ninety eight dollars and zero cents

402.12 Aggregate Shoulders

TON 27.12 \$ 92.00 \$ 2,495.04

Unit Price in Words Ninety two dollars and zero cents

404.65 Emulsified Asphalt

CWT 58.00 \$ 1.25 \$ 72.50

Unit Price in Words One dollar and twenty five cents

501.37 High Performance Concrete, Class PCD

CY 34.00 \$ 1,050.00 \$ 35,700.00

Unit Price in Words One thousand fifty dollars and zero cents

501.38 High Performance Concrete, Class PCS

CY 58.00 \$ 1,050.00 \$ 60,900.00

Unit Price in Words One thousand fifty dollars and zero cents

507.12 Reinforcing Steel, Level II

LB 19596.50 \$ 2.50 \$ 48,991.25

Unit Price in Words Two dollars and fifty cents

514.10 Water Repellant, Silane

SF 2900.00 \$.75 \$ 2,175.00

Unit Price in Words Seventy five cents

516.10 Bridge Expansion Joint, Asphaltic Plug

LF 28.00 \$ 100.00 \$ 2,800.00

Unit Price in Words One hundred dollars and zero cents

541.25 Concrete, Class B

CY 74.83 \$ 460.00 \$ 34,421.08

Unit Price in Words Four hundred sixty dollars and zero cents

(footings)
for
abutments
\$15k in
material

Rutland City STP BP14(24) & Rutland City TAP
TA17(13) & TAP TA21(3) 03/20/2023
Bid Form

605.10 6 Inch Underdrain Pipe

LF 686.00 \$ 28.00 \$ 19,208.00

Unit Price in Words Twenty eight dollars and zero cents

609.15 Dust and Ice Control with Calcium Chloride

TON 1.00 \$ 1.00 \$ 1.00

Unit Price in Words One dollar and zero cents

613.12 Stone Fill, Type III

CY 304.22 \$ 92.00 \$ 27,988.24

Unit Price in Words Ninety two dollars and zero cents

616.28 Cast-in-Place Concrete Curb, Type B

LF 129.00 \$ 56.00 \$ 7,224.00

Unit Price in Words Fifty six dollars and zero cents

616.41 Removal of Existing Curb

LF 62.00 \$ 17.00 \$ 1,054.00

Unit Price in Words Seventeen dollars and zero cents

618.10 Portland Cement Concrete Sidewalk, 5 Inch

SY 72.77 \$ 150.00 \$ 10,915.50

Unit Price in Words One hundred fifty dollars and zero cents

618.30 Detectable Warning Surface

SF 60.00 \$ 32.00 \$ 1,920.00

Unit Price in Words Thirty two dollars and zero cents

619.14 Bollards (NABI)

EA 6.00 \$ 0.00 \$ 0.00

Unit Price in Words Zero dollars and Zero cents

620.12 Chain-Link Fence, 6 Feet

LF 297.00 \$ 54.00 \$ 16,038.00

Unit Price in Words Fifty four dollars and zero cents

620.16 Gate for Chain-Link Fence, 6 Feet

LF 12.00 \$ 345.00 \$ 4,140.00

Unit Price in Words Three hundred forty five dollars and zero cents

Rutland City STP BP14(24) & Rutland City TAP
TA17(13) & TAP TA21(3)
Bid Form

03/20/2023

620.55 Removal of Existing Fence (NABI)

LF 388.00 \$ 0.00 \$ 0.00

Unit Price in Words Zero dollars and Zero cents

630.10 Uniformed Traffic Officers

HR 40.00 \$ 1.00 \$ 40.00

Unit Price in Words One dollar and zero cents

630.15 Flaggers

HR 40.00 \$ 50.00 \$ 2,000.00

Unit Price in Words Fifty dollars and zero cents

631.16 Testing Equipment, Concrete

LS 1.00 \$ 500.00 \$ 500.00

Unit Price in Words Five hundred dollars and zero cents

631.17 Testing Equipment, Bituminous

LS 1.00 \$ 500.00 \$ 500.00

Unit Price in Words Five hundred dollars and zero cents

635.11 Mobilization/Demobilization

LS 1.00 \$ 175,000.00 \$ 175,000.00

Unit Price in Words One hundred seventy five thousand dollars and zero cents

641.11 Traffic Control, All Inclusive

LS 1.00 \$ 6,500.00 \$ 6,500.00

Unit Price in Words Six thousand five hundred dollars and zero cents

646.311 Crosswalk Marking

LF 80.00 \$ 35.00 \$ 2,800.00

Unit Price in Words Thirty five dollars and zero cents

646.413 Durable 4 Inch Yellow Line, Epoxy Paint

LF 150.64 \$ 8.00 \$ 1,205.12

Unit Price in Words Eight dollars and zero cents

646.463 Durable 12 Inch White Line, Epoxy Paint

LF 8.00 \$ 20.00 \$ 160.00

Unit Price in Words Twenty dollars and zero cents

Rutland City STP BP14(24) & Rutland City TAP
 TA17(13) & TAP TA21(3)
 Bid Form

03/20/2023

646.85	Removal of Existing Pavement Markings	LF	104.00	\$ 10.00	\$ 1,040.00
	Unit Price in Words	Ten dollars and zero cents			
649.11	Geotextile for Roadbed Separator	SY	1683.46	\$ 2.00	\$ 3,366.92
	Unit Price in Words	Two dollars and zero cents			
649.31	Geotextile Under Stone Fill	SY	960.55	\$ 3.00	\$ 2,881.65
	Unit Price in Words	Three dollars and zero cents			
649.41	Geotextile for Underdrain Trench Lining	SY	88.89	\$ 4.00	\$ 355.56
	Unit Price in Words	Four dollars and zero cents			
651.15	Seed (NABI)	LB	52.57	\$ 0.00	\$ 0.00
	Unit Price in Words	Zero dollars and Zero cents			
651.18	Fertilizer (NABI)	LB	52.57	\$ 0.00	\$ 0.00
	Unit Price in Words	Zero dollars and Zero cents			
651.20	Agriculture Limestone (NABI)	TON	1.31	\$ 0.00	\$ 0.00
	Unit Price in Words	Zero dollars and Zero cents			
651.35	Topsoil	CY	642.49	\$ 52.00	\$ 33,409.48
	Unit Price in Words	Fifty two dollars and zero cents			
651.40	Grubbing Material	SY	304.22	\$ 51.00	\$ 15,515.22
	Unit Price in Words	Fifty one dollars and zero cents			
653.01	EPSC Plan	LS	1.00	\$ 1,000.00	\$ 1,000.00
	Unit Price in Words	One thousand dollars and zero cents			

Rutland City STP BP14(24) & Rutland City TAP
TA17(13) & TAP TA21(3)
Bid Form

03/20/2023

653.02 Monitoring EPSC Plan

HR 104.00 \$ 35.00 \$ 3,640.00
Unit Price in Words Thirty five dollars and zero cents

653.03 Maintenance of EPSC Plan (NABI)

LU 1.00 \$ 0.00 \$ 0.00
Unit Price in Words Zero dollars and Zero cents

653.10 Hay Mulch (NABI)

TON 10.51 \$ 0.00 \$ 0.00
Unit Price in Words Zero dollars and Zero cents

653.20 Rolled Erosion Control Product, Type I

SY 5840.78 \$ 2.00 \$ 11,681.56
Unit Price in Words Two dollars and zero cents

653.35 Stabilized Construction Entrance

CY 22.20 \$ 52.00 \$ 1,154.40
Unit Price in Words Fifty two dollars and zero cents

653.475 Silt Fence, Type I

LF 2565.00 \$ 2.50 \$ 6,412.50
Unit Price in Words Two dollars and fifty cents

653.55 Project Demarcation Fence (NABI)

LF 3154.00 \$ 0.00 \$ 0.00
Unit Price in Words Zero dollars and Zero cents

656.85 Tree Protection

LS 1.00 \$ 1,000.00 \$ 1,000.00
Unit Price in Words One thousand dollars and zero cents

675.20 Traffic Signs, Type A

SF 31.75 \$ 28.00 \$ 889.00
Unit Price in Words Twenty eight dollars and zero cents

675.341 Square Tube Sign Post and Anchor

LF 90.00 \$ 22.00 \$ 1,980.00
Unit Price in Words Twenty two dollars and zero cents

Rutland City STP BP14(24) & Rutland City TAP

TA17(13) & TAP TA21(3)

Bid Form

03/20/2023

900.450 Special Provision – Utility Modifications

LS 1.00 \$ 4,600.00 \$ 4,600.00

Unit Price in Words Four thousand six hundred dollars and zero cents

900.620 Special Provision – Relocated Solar Flashing Beacon Assembly

EA 2.00 \$ 8,200.00 \$ 16,400.00

Unit Price in Words Eight thousand two hundred dollars and zero cents

900.621 Special Provision – Swing Gate with Lock and Chain

EA 1.00 \$ 5,000.00 \$ 5,000.00

Unit Price in Words Five thousand dollars and zero cents

900.622 Special Provision – Drainage Inlet

EA 2.00 \$ 1,400.00 \$ 2,800.00

Unit Price in Words One thousand four hundred dollars and zero cents

900.640 Special Provision – Timber Bike Guard Rail

LF 502.00 \$ 92.00 \$ 46,184.00

Unit Price in Words Ninety two dollars and zero cents

900.645 Special Provision – Prefabricated Multi-Modal Pedestrian Bridge

LS 1.00 \$ 482,000.00 \$ 482,000.00

Unit Price in Words Four hundred eighty two thousand dollars and zero cents

900.650 Special Provision – Mat Density Pay Adjustment, Small Quantity

(NABI) LU 1.00 \$ 0.00 \$ 0.00

Unit Price in Words Zero dollars and Zero cents

900.650 Special Provision – Mixture Pay Adjustment (NABI)

LU 1.00 \$ 0.00 \$ 0.00

Unit Price in Words Zero dollars and Zero cents

900.675 Special Provision – Unit Block Retaining Wall

SF 1907.59 \$ 51.00 \$ 97,287.09

Unit Price in Words Fifty one dollars and zero cents

900.680 Special Provision – Bituminous Concrete Pavement, Small Quantity

(Installation Only) TON 290.00 \$ 100.00 \$ 29,000.00

Unit Price in Words One hundred dollars and zero cents

Rutland City STP BP14(24) & Rutland City TAP

TA17(13) & TAP TA21(3)

Bid Form

03/20/2023

Total Base Bid \$ 1,393,960.31

Total Base Bid Written One million three hundred thirty nine thousand nine hundred
sixty dollars and thirty one cents

**ALTERNATE 1 – INSTALLATION OF STEEL BIKE GUARD RAIL IN LIEU OF
TIMBER BIKE GUARD RAIL**

900.641 Special Provision – Steel Bike Guard Rail

LF 502.00 \$ 200.00 \$ 100,400.00
Unit Price in Words Two hundred dollars and zero cents

Total Alternate 1 \$ 100,400.00

Total Alternate 1 Written One hundred thousand four hundred dollars and zero cents

The lowest responsive and responsible bidder will be determined by the Total Base Bid.

The above unit prices shall include all labor, materials, removal, overhead, profit, insurance, etc. to cover the finished work as specified within the Contract Documents.

By submitting this bid, a bidder certifies that it shall report in writing to the municipality any errors or inconsistency discovered in the plans, proposal, specifications, or proposal documents immediately upon discovery.

THE ABOVE PROPOSAL IS HEREBY RESPECTFULLY SUBMITTED BY:

Belden Construction LLC

Contractor

Justin Belden

By

President

Title

15 Belden Road, Rutland, VT, 05701

Business Address

Attachment G:
2023 Additional Funding Worksheet

Applicant Name: City of Rutland
Project Title: Rutland Creek Path- Segment 3
 BP14(24) & TA17(13) & TA 21(3)

Determining Make Up Funding for an Existing Project

Original Award (including Local share)	\$1,628,285
Engineering Expenses to Date	\$182,830
Project Management Expenses to Date	\$10,040
ROW expenses to Date	\$5,500

Amount Remaining from original award	\$1,429,915
---	--------------------

Utility Relocation	\$46,933	GMP contract + 5% inflation
Balance of Engineering contract to be billed	\$13,620	
Balance of Project Management to end of project	\$5,000	
Balance of ROW expenses anticipated	\$0	
Estimated Construction Cost	1,533,356	Belden's bid + 10% contingency
Estimated Construction Inspection Cost	\$134,255	GPI's contract + 10% contingency

Total Cost to Complete Project **\$1,733,164**

Amount Remaining in Grant Award (or deficit)	(\$303,249)
---	--------------------



RUTLAND REGIONAL PLANNING COMMISSION

MAY 16, 2023

**PETER POCHOP
VERMONT AGENCY OF TRANSPORTATION
BARRE CITY PLACE, 219 NORTH MAIN ST. BARRE, VT 05641**

RE: LETTER OF SUPPORT FOR CREEK PATH SEGMENT 3 FUNDING

Dear Mr. Pochop,

The Rutland Regional Planning Commission (RRPC) is pleased to offer its support for the City of Rutland's Creek Path Segment 3 Funding application to the VTrans Bicycle and Pedestrian Grant Program.

The RRPC is excited to support the City of Rutland, and recognizes the important transportation benefits the path will provide for Rutland City and the Rutland Region. The Creek Path represents a decade long effort to develop a shared-use greenway in Rutland City for both transportation and recreational purposes and Segment 3 will be the connecting piece that ties the whole path together.

Since Rutland City lacks an easily developable rail ROW like so many other Vermont communities, the creation of this greenway has necessitated careful collaboration with private landowners. With easements secured and a fully engineered segment, all that is needed is additional funding to complete the missing link.

The RRPC fully supports the City and strongly encourages VTrans to fund the Creek Path Segment 3 project. Thank you for the consideration and supporting our community partners.

Thank You,

Ethan Pepin

Transportation Planner

*The Opera House | 67 Merchants Row | Rutland, Vermont
P.O. Box 430 | Rutland, Vermont 05702
RutlandRPC.org | (802) 775-0871*

COOPERATIVE PLANNING IN THE REGION

CITY OF RUTLAND VERMONT

2023 VTrans Bicycle and Pedestrian Program Resolution

Whereas, the City of Rutland is applying for funding as provided for in the 2023 VTrans Bicycle and Pedestrian Program and may receive an award of funds under said provisions; and

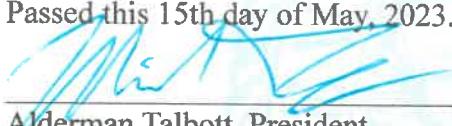
Whereas, the Vermont Department of Transportation may offer a Grant Agreement to this municipality for said funding;

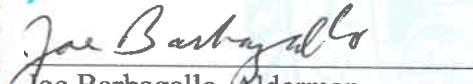
Now, Therefore, Be it Resolved:

That the Rutland City Board of Aldermen supports an application for additional funding for the Rutland Creek Path Segment 3; and

That the Rutland City Board of Aldermen hereby acknowledge there is a 20% local match and future maintenance responsibilities.

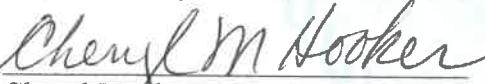
Passed this 15th day of May, 2023.


Alderman Talbott, President


Joe Barbagallo, Alderman

ABSENT

Sharon Davis, Alderman


Cheryl Hooker, Alderman


Kiana McClure, Alderman


Anna Tadio, Alderman

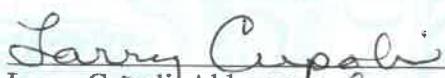
The above resolution is a true and correct copy of the resolution as finally adopted at a meeting of the Rutland City Board of Alderman held on the 15th day of May, and duly recorded in my office.

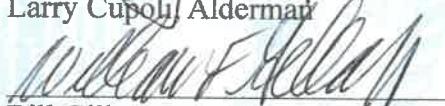
In witness whereof, I hereunto set my hand this 15 day of May, 2023.


Tracy Kapusta, City Clerk

BOARD OF ALDERMEN


Alex Adams, Alderman


Larry Cupoli, Alderman


Bill Gillam Jr., Alderman


John McCann, Alderman

ABSENT


Carrie Savage, Alderman